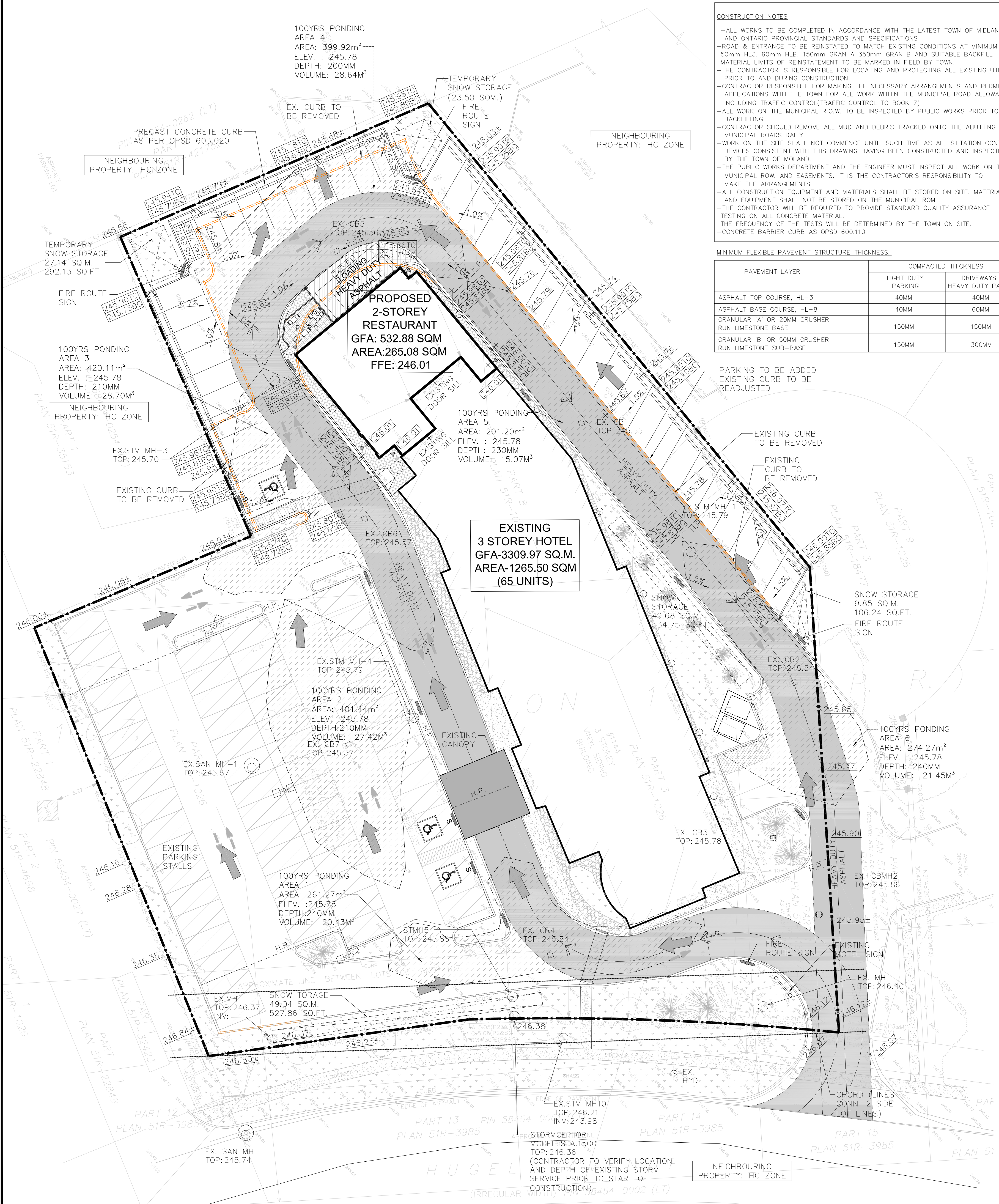




CONSTRUCTION NOTES

- ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH THE LATEST TOWN OF MIDLAND AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS
- ROAD & ENTRANCE TO BE REINSTATED TO MATCH EXISTING CONDITIONS AT MINIMUM WITH 50mm HL3, 60mm HLB, 150mm GRAN A 350mm GRAN B AND SUITABLE BACKFILL MATERIAL LIMITS OF REINSTATEMENT TO BE MARKED IN FIELD BY TOWN.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR MAKING THE NECESSARY ARRANGEMENTS AND PERMIT APPLICATIONS WITH THE TOWN FOR ALL WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE, INCLUDING TRAFFIC CONTROL (TRAFFIC CONTROL TO BOOK 7)
- ALL WORK ON THE MUNICIPAL R.O.W. TO BE INSPECTED BY PUBLIC WORKS PRIOR TO BACKFILLING
- CONTRACTOR SHOULD REMOVE ALL MUD AND DEBRIS TRACKED ONTO THE ABUTTING MUNICIPAL ROADS DAILY.
- WORK ON THE SITE SHALL NOT COMMENCE UNTIL SUCH TIME AS ALL SILTATION CONTROL DEVICES CONSISTENT WITH THIS DRAWING HAVING BEEN CONSTRUCTED AND INSPECTED BY THE TOWN OF MIDLAND.
- THE PUBLIC WORKS DEPARTMENT AND THE ENGINEER MUST INSPECT ALL WORK ON THE MUNICIPAL ROW, AND EASEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE ARRANGEMENTS
- ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED ON SITE. MATERIALS AND EQUIPMENT SHALL NOT BE STORED ON THE MUNICIPAL ROW
- THE CONTRACTOR WILL BE REQUIRED TO PROVIDE STANDARD QUALITY ASSURANCE TESTING ON ALL CONCRETE MATERIAL
- THE FREQUENCY OF THE TESTS WILL BE DETERMINED BY THE TOWN ON SITE.
- CONCRETE BARRIER CURB AS OPSD 600.110

MINIMUM FLEXIBLE PAVEMENT STRUCTURE THICKNESS:

PAVEMENT LAYER	COMPACTED THICKNESS	
	LIGHT DUTY PARKING	DRIVEWAYS & HEAVY DUTY PARKING
ASPHALT TOP COURSE, HL-3	40MM	40MM
ASPHALT BASE COURSE, HL-8	40MM	60MM
GRANULAR 'A' OR 20MM CRUSHER RUN LIMESTONE BASE	150MM	150MM
GRANULAR 'B' OR 50MM CRUSHER RUN LIMESTONE SUB-BASE	150MM	300MM

PARKING TO BE ADDED EXISTING CURB TO BE READJUSTED

MUNICIPAL ADDRESS & LEGAL DESCRIPTION

1144 HUGEL AVE, MIDLAND, ON. PART OF EAST-HALF LOT 106 & PART OF LOT 107, CONCESSION 1 FORMERLY THE TOWNSHIP OF TINY NOW TOWN OF MIDLAND (COUNTY OF SIMCOE)

SURVEYOR INFORMATION

SURVEY PLAN ON DATED: T.S. SURVEYING INC. 7 Colwick Drive, North York, ON M2K 2G2 T: 416.786.8080 E: info@tsurveying.com

APPLICANT

n Architecture Inc 9120 LESLIE STREET, SUITE-208, RICHMOND HILL, ONTARIO L4B 3J9 T: 416.303.4821 E: info@narchitecture.com www.narchitecture.com

OWNER INFORMATION

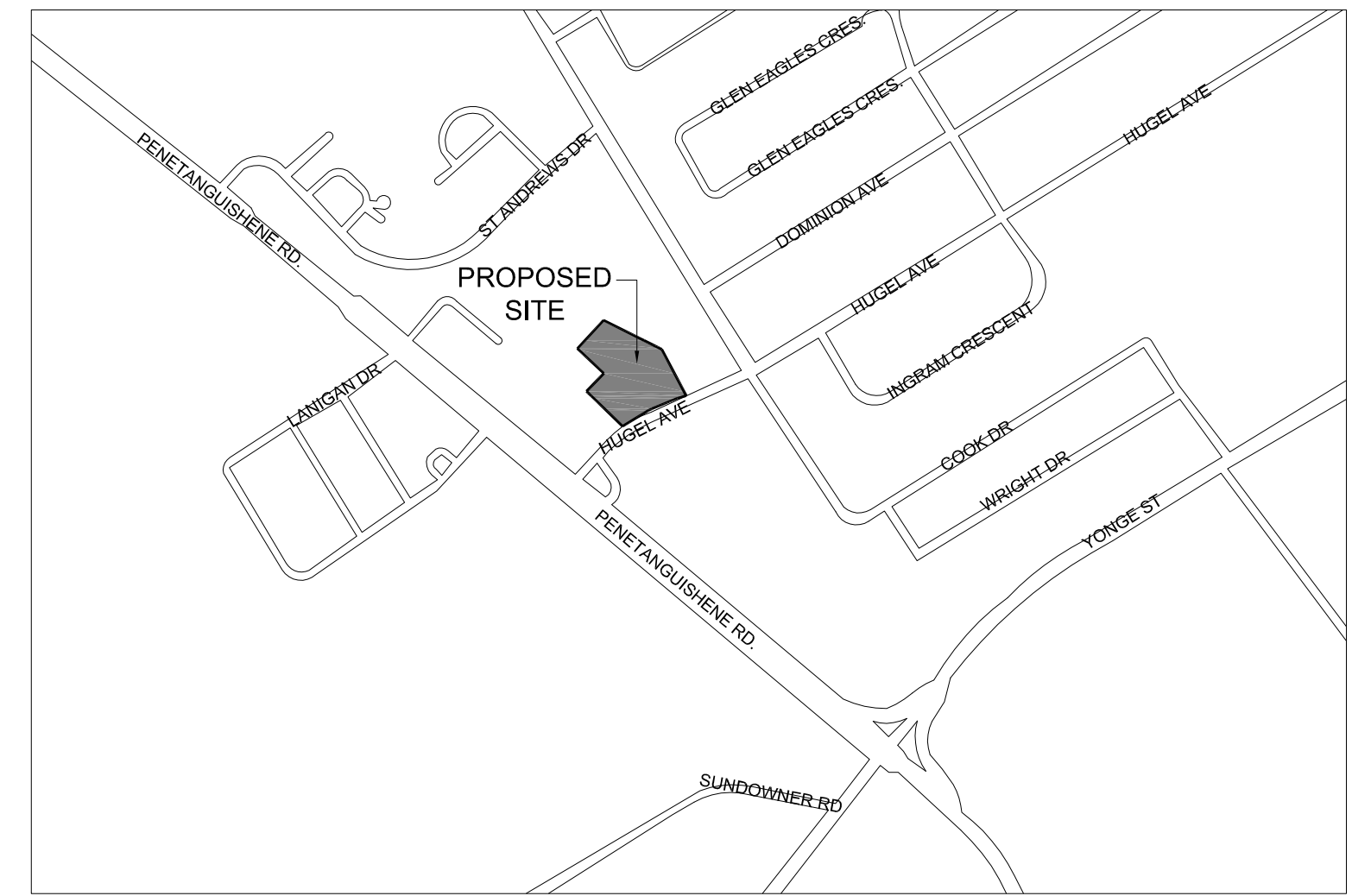
SONU DHILLON SUPER 8 HOTEL, 1144 HUGEL AVE 14R 0B1 E: GSM@SUPER8.MIDLAND.COM

BEARING NOTE

BEARINGS ARE ASTRONOMIC, AND ARE REFERRED TO THE WESTERLY LIMIT OF HUGEL AVENUE AS SHOWN ON PLAN 51R-27372, HAVING A BEARING OF N38°20'50"E.

ELEVATION NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC, AND ARE FROM REAL TIME NETWORK GPS READINGS PROVIDED BY CAN-NET AND TOTAL STATION, AND ARE IN GEOID MODEL CGG2013.



KEY PLAN

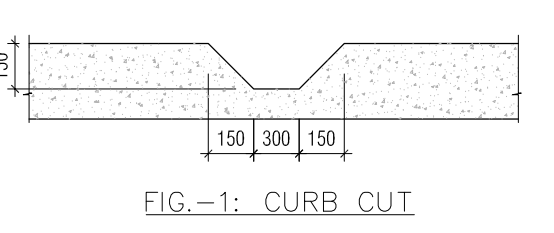
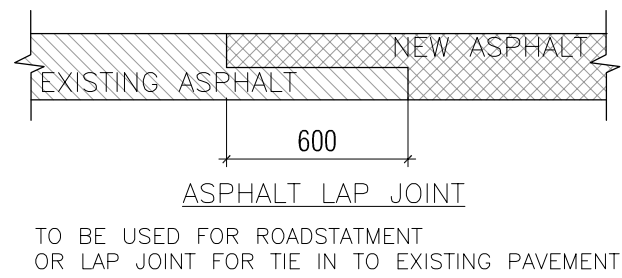
- LEGEND**
- PROPERTY LINE
 - REGULATE LIMIT
 - EXISTING CONCRETE CURB
 - PROPOSED CONCRETE CURB
 - PROPOSED DEPRESSED CONCRETE CURB
 - AREA DRAIN
 - EXISTING STORM MANHOLE
 - PROPOSED STORM MANHOLE
 - PROPOSED CATCH BASIN
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN MANHOLE
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING WATER VALVE
 - PROPOSED WATER VALVE
 - FIRE HYDRANT
 - BARRIER FREE PARKING
 - MAIN ENTRANCE
 - OVER HEAD DOOR
 - DEPRESSED CURB
 - FINISHED FLOOR ELEVATION
 - GRAVEL AREA
 - LANDSCAPED AREA
 - CONCRETE
 - PAINTED LINE
 - EXISTING HYDRO POLE
 - EXISTING HYDRO POLE/STREET LIGHT
 - EXISTING MISC. POLE
 - PONDING AREA
 - OVERLAND FLOW ROUTE
 - EXISTING ELEVATION TO REMAIN
 - EXISTING ELEVATION
 - PROPOSED SURFACE SLOPE
 - HIGH POINT (DRAINAGE DIVIDE)
 - PROPOSED TOP/CURB ELEVATION
 - PROPOSED ELEVATION

- GENERAL NOTES**
- READ THIS DRAWING IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND LANDSCAPING PLANS.
- ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE APPLICABLE HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
 - ALL WORK, MATERIALS AND CONSTRUCTION METHODS TO CONFORM WITH THE LATEST STANDARDS, SPECIFICATIONS, POLICIES, REGULATIONS, GUIDELINES AND LAWS FOR THE TOWN OF MIDLAND, THE ONTARIO BUILDING CODE (OBC), MINISTRY OF THE ENVIRONMENT (MOE), ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS (OPSD AND OPSS), THE ENVIRONMENTAL PROTECTION ACT AND THE WATER RESOURCES ACT. THE MINISTRY OF TRANSPORTATION STANDARDS WILL APPLY WHERE REQUIRED.
 - THE INFORMATION SHOWN FOR EXISTING UTILITIES WAS COMPILED FROM LOCATES INFORMATION AND RECORD DRAWINGS FROM THE TOWN. THE INFORMATION IS SHOWN FOR GENERAL INFORMATION ONLY AND THE ACCURACY OR COMPLETENESS OF THE PROVIDED INFORMATION HAS NOT BEEN CONFIRMED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ANY VARIANCE IS TO BE IMMEDIATELY REPORTED TO THE ENGINEER. LOST TIME DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTOR'S EXPENSE.
 - THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED PRIOR TO CONSTRUCTION. INFORMATION RELATED TO PRIVATE ROADS, PARKING, CURBING, BUILDING LOCATION AND SETBACKS SHALL BE TAKEN FROM THE SITE PLAN PREPARED BY THE ARCHITECT.
 - ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES FOUND PRIOR TO OR DURING CONSTRUCTION SHALL BE CLARIFIED WITH THE ENGINEER.
- INSPECTIONS:**
- ALL WORK IN THE MUNICIPAL RIGHT OF WAY AND EASEMENTS IS TO BE INSPECTED BY THE CITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMAINS AND SEWERS TO BE INSPECTED BY THE CITY AS PER THE SITE PLAN AGREEMENT.
 - ALL DISTURBED GRASSED AREAS TO BE RESTORED WITH MINIMUM 200MM TOPSOIL AND NO. 1 NURSERY SOO.
 - THE CONTRACTOR AGREES NOT TO MAKE A MATERIAL CHANGE OR CAUSE A MATERIAL CHANGE TO BE MADE TO A PLAN, SPECIFICATION, DOCUMENT OR OTHER INFORMATION, ON THE BASIS OF WHICH THIS DRAWING WAS APPROVED BY THE TOWN, WITHOUT NOTIFYING, FILING DETAILS WITH AND OBTAINING WRITTEN AUTHORIZATION OF THE MUNICIPAL AND PROJECT ENGINEER.
 - ALL STORMWATER MANAGEMENT WORK, WATER SERVICING WORK AND SANITARY SEWER WORK INSIDE THE BOUNDARY OF THE SITE IS TO BE INSPECTED BY n ENGINEERING INC PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMAINS AND SEWERS TO BE INSPECTED BY n ENGINEERING AS PER APPROVED PLANS BY THE TOWN.

- GRADING NOTES**
- EXISTING GROUND ELEVATIONS TO BE MAINTAINED ALONG PERIMETER OF SITE UNLESS SPECIFIED OTHERWISE
 - ALL DISTURBED AREAS TO BE REINSTATED TO EXISTING CONDITION OR BETTER.
 - GRASS SURFACE MIN. SLOPE 2% GRASS SMALES MIN. SLOPE 1.5% AND DEPTH 200mm
 - ASPHALT PAVEMENT/CONCRETE SURFACES MINIMUM SLOPE 1%
 - SODDING OF SIDE SLOPES AS PER OPSD 218010
 - ALL LANDSCAPING TO BE PLACED SO THAT MOTORISTS ENTERING AND LEAVING THE SITE ARE NOT IMPACTED. PLANTING LOCATIONS TO BE REVIEWED BY PUBLIC WORKS PRIOR TO PLANTING
 - ALL WORK TO BE CONTAINED WITHIN THE LIMITS OF THIS PROPERTY.
 - PROPOSED ELEVATIONS ARE TO MEET EXISTING GRADES AT LOT LINES NO CONSTRUCTION IS TO TAKE PLACE ON ADJACENT PRIVATE PROPERTY WITHOUT WRITTEN PERMISSION FROM THE OWNERS IN QUESTION.
 - WITHIN THE ROAD ALLOWANCE, ALL PORTIONS OF THE ROAD BOULEVARDS NOT COVERED WITH ASPHALT OR CONCRETE MUST BE FINE GRADED WITH A MINIMUM 100mm TOPSOIL AND SODDED WITH No.1 NURSERY SOO
 - EMBANKMENTS MAX SLOPE 3:1
 - TOPSOIL TO BE DISPOSED OFFSITE, STOCKPILED OR USED AS FILL IN LANDSCAPE AREAS. IF TOPSOIL STOCKPILE IS TO REMAIN FOR AN EXTENDED PERIOD OF TIME, TOPSOIL STOCKPILE MUST BE SEED.

PROPOSED ELEVATIONS ARE TO MEET EXISTING GRADES AT LOT LINES NO CONSTRUCTION IS TO TAKE PLACE ON ADJACENT PRIVATE PROPERTY WITHOUT WRITTEN PERMISSION FROM THE OWNER IN QUESTION

ALL DISTURBED AREAS WITHIN THE MUNICIPAL R.O.W. TO BE REINSTATED TO THE SATISFACTION OF PUBLIC WORKS.



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PROFESSIONAL SEAL

A.S. ZIAUDDIN 100233432
02 JULY 2025
PROVINCE OF ONTARIO

PROJECT NORTH

NOT FOR CONSTRUCTION

No.	Date	Version	Dwn.
03.	02 JULY 2025	ISSUED FOR SPA-2	LU
02.	21 JUNE 2023	RE-ISSUED FOR SPA-1	LU
01.	15 MAR. 2023	ISSUED FOR SPA-1	LU

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PROJECT:

SHOELESS JOE'S RESTAURANT
1144 HUGEL AVE
MIDLAND, ONTARIO

DRAWING TITLE:

SITE GRADING PLAN

DRAWN BY: SA DATE: 25th AUG. 2022

CHECKED BY: AZ SCALE: 1:250

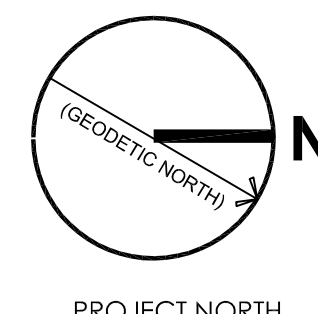
PROJECT NO.: DRAWING NO.:

21-37 C1



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01.	15 MAR. 2023	ISSUED FOR SPA-1	LU

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PROJECT:

SHOELESS JOE'S RESTAURANT
1144 HUGEL AVE
MIDLAND, ONTARIO

DRAWING TITLE:

**SITE SERVICING
PLAN**

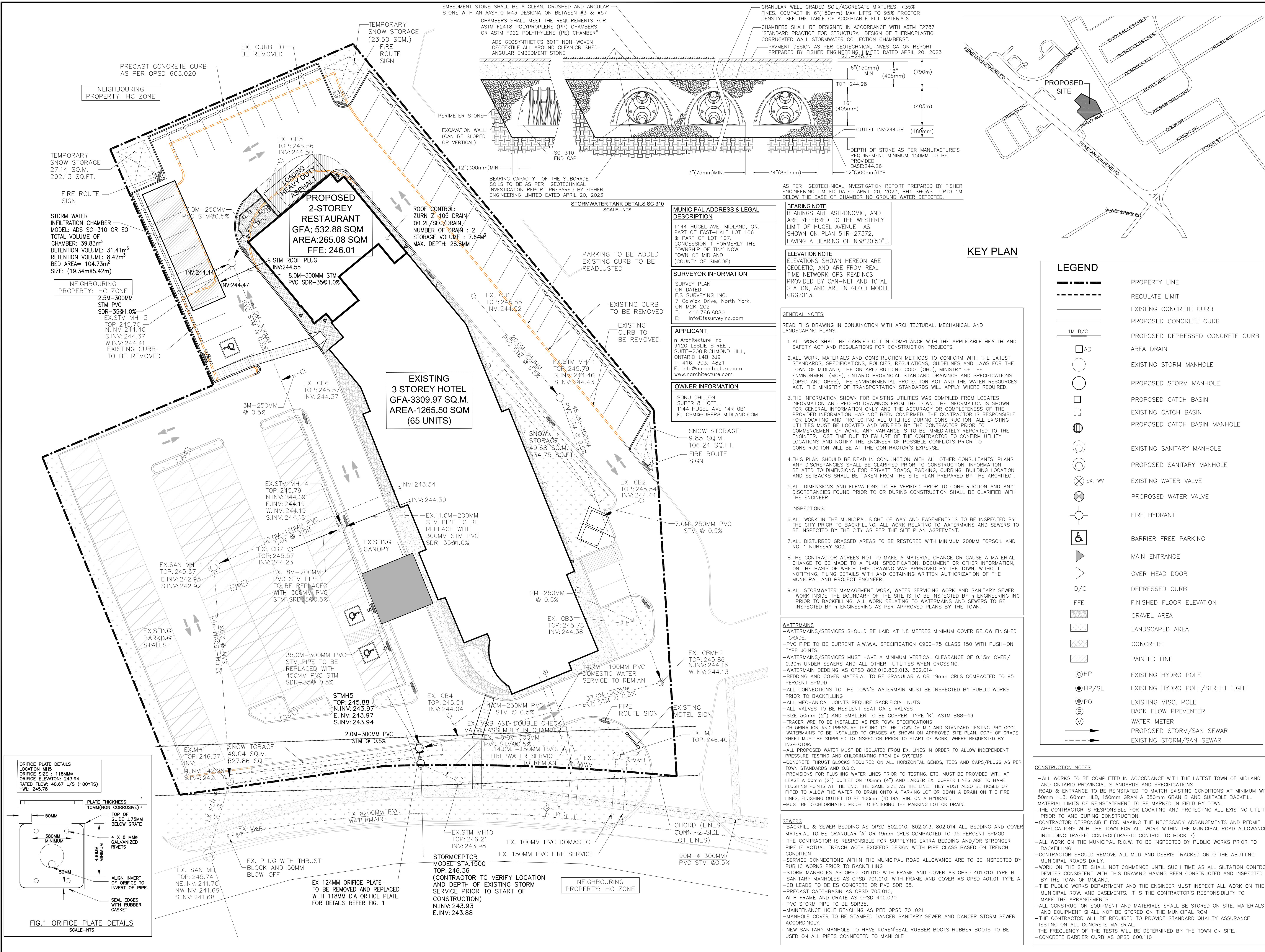
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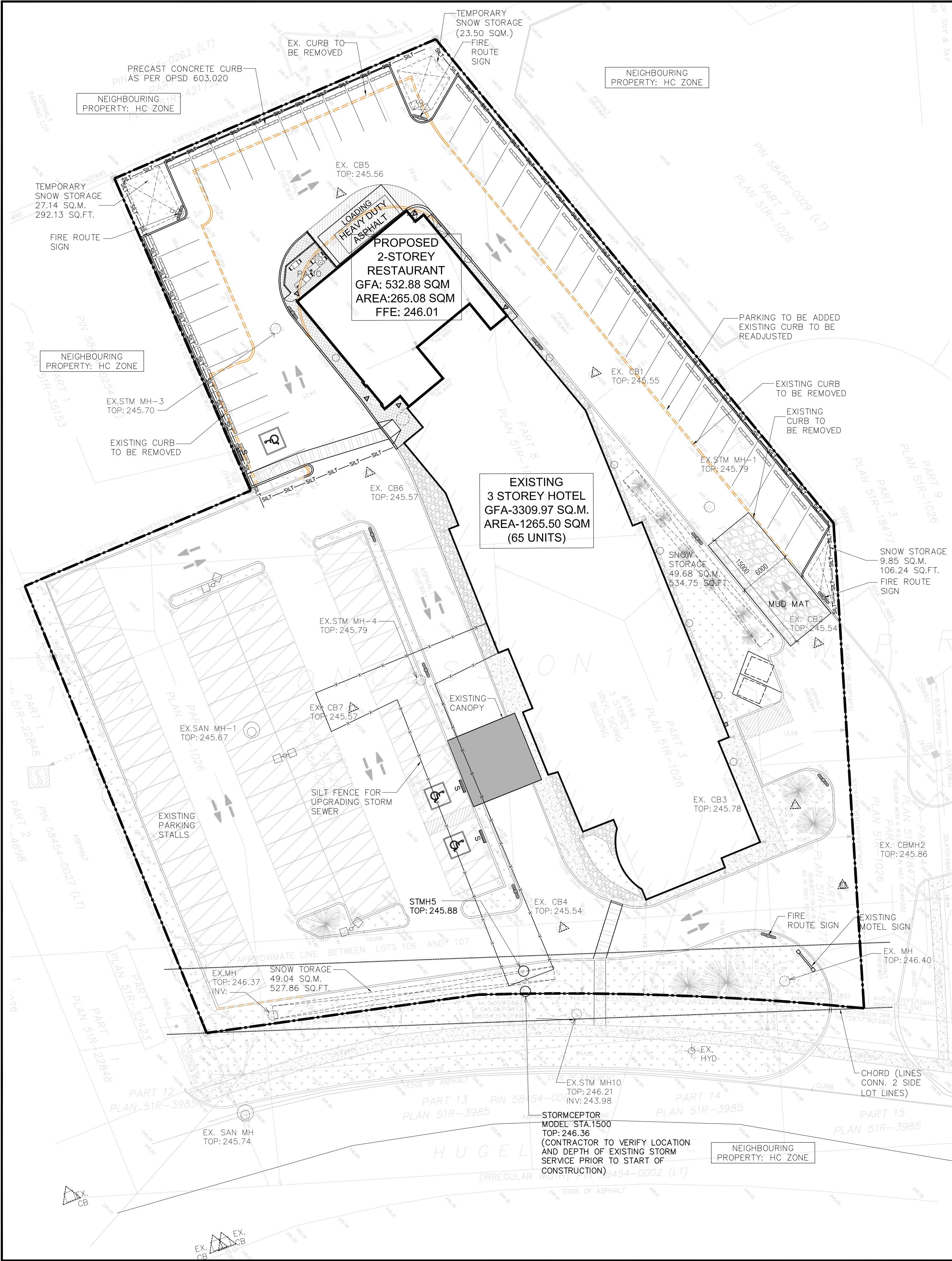
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PROJECT NO.: DRAWING NO.:

21-37

C2

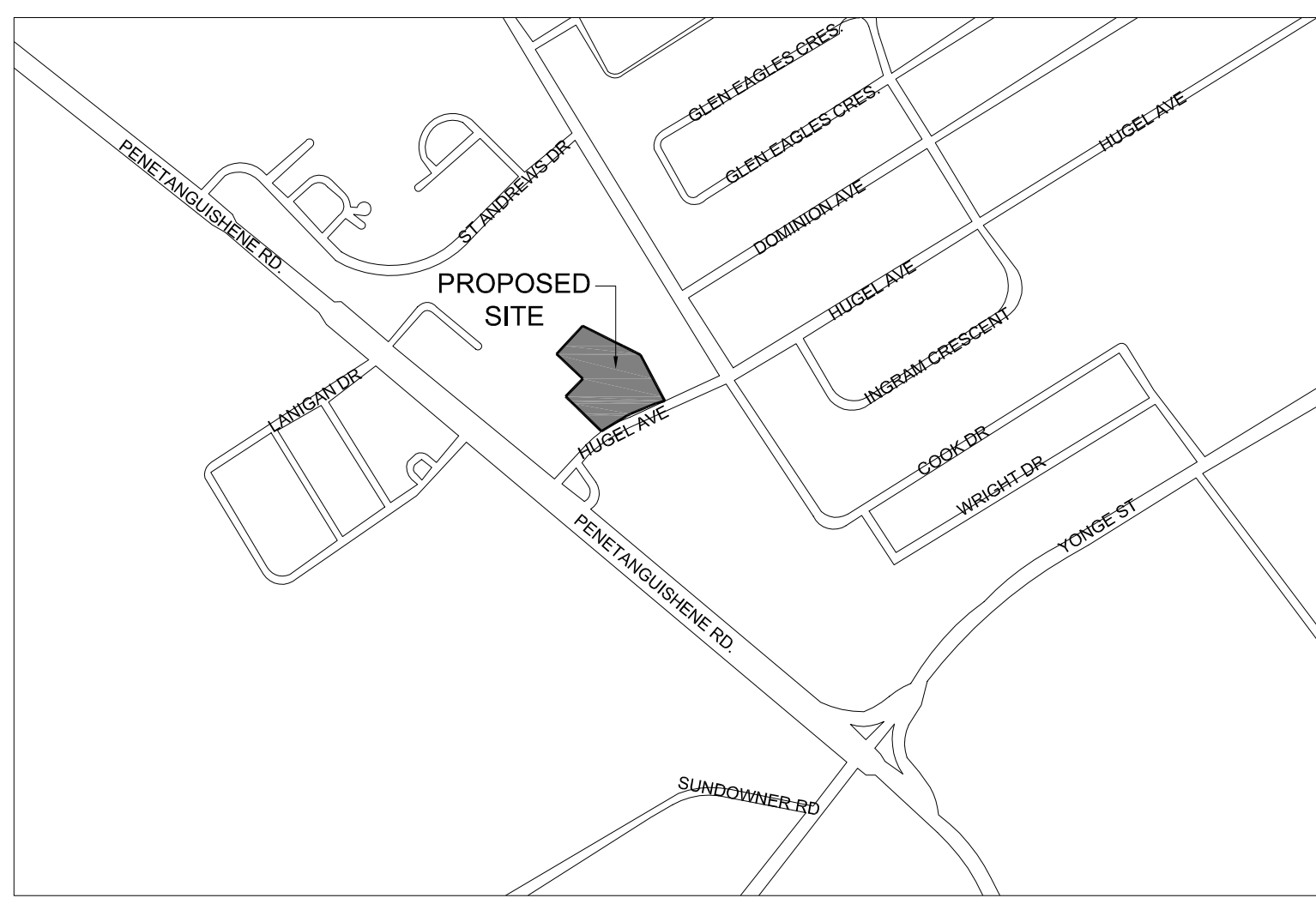




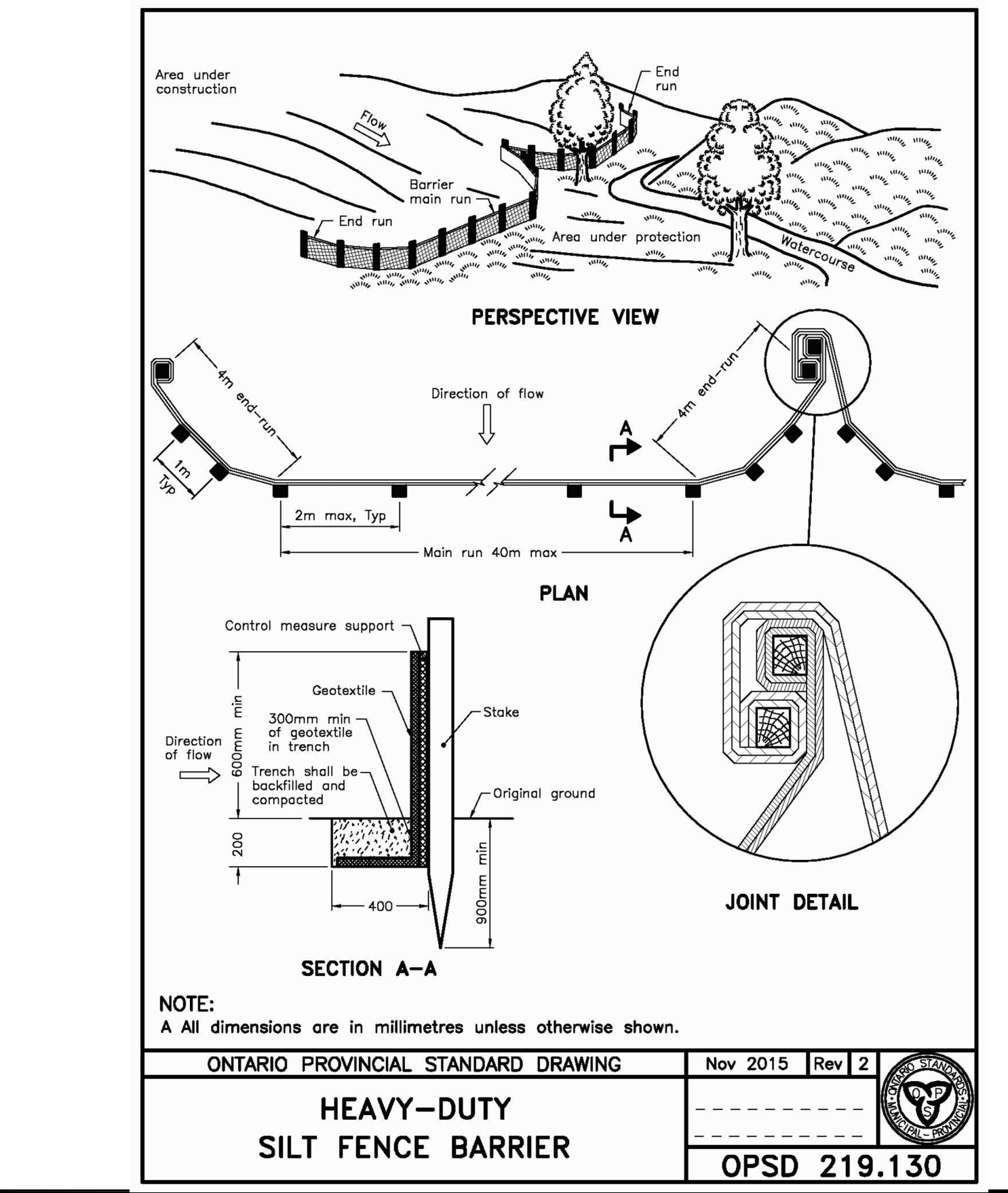
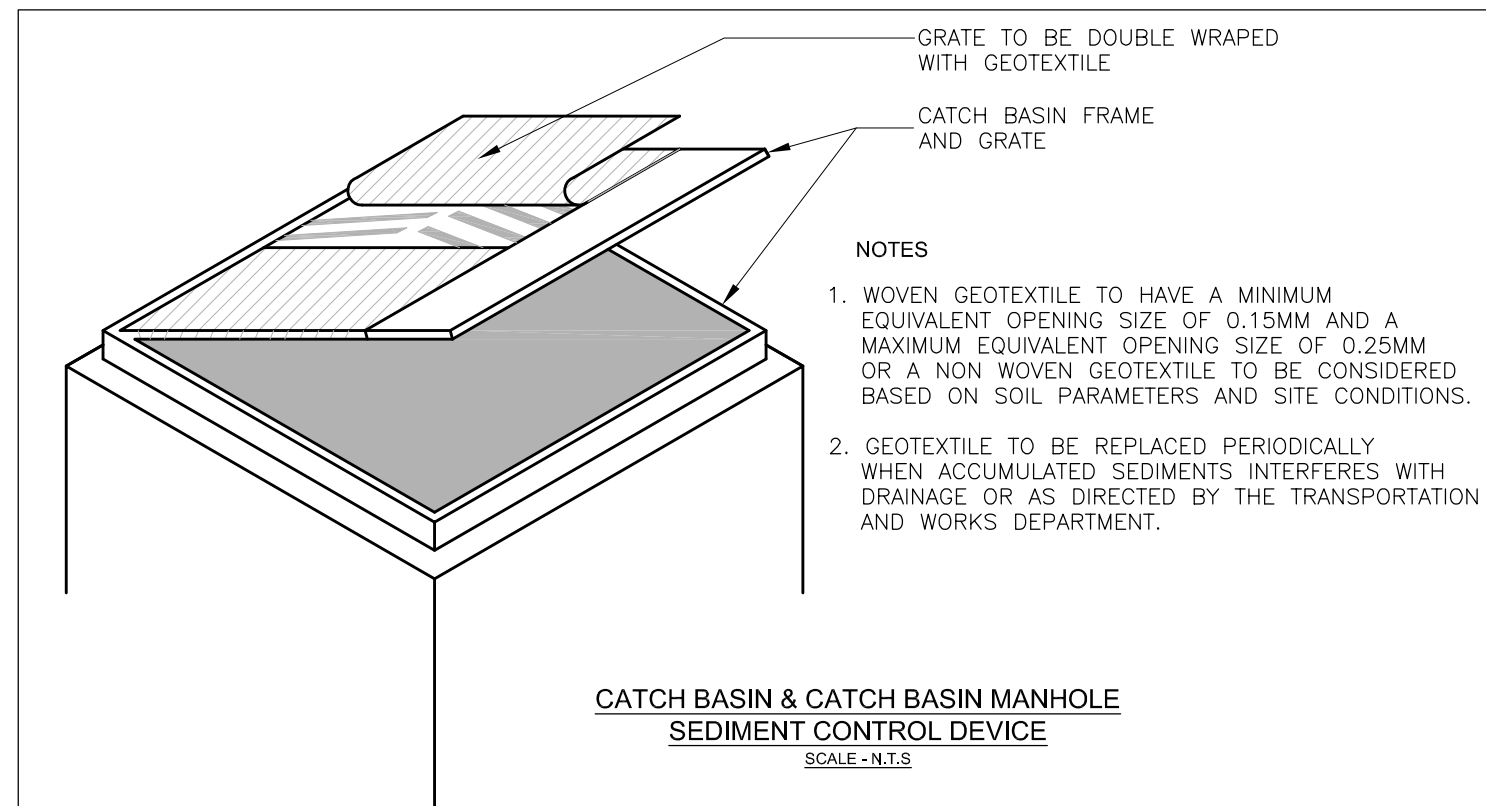
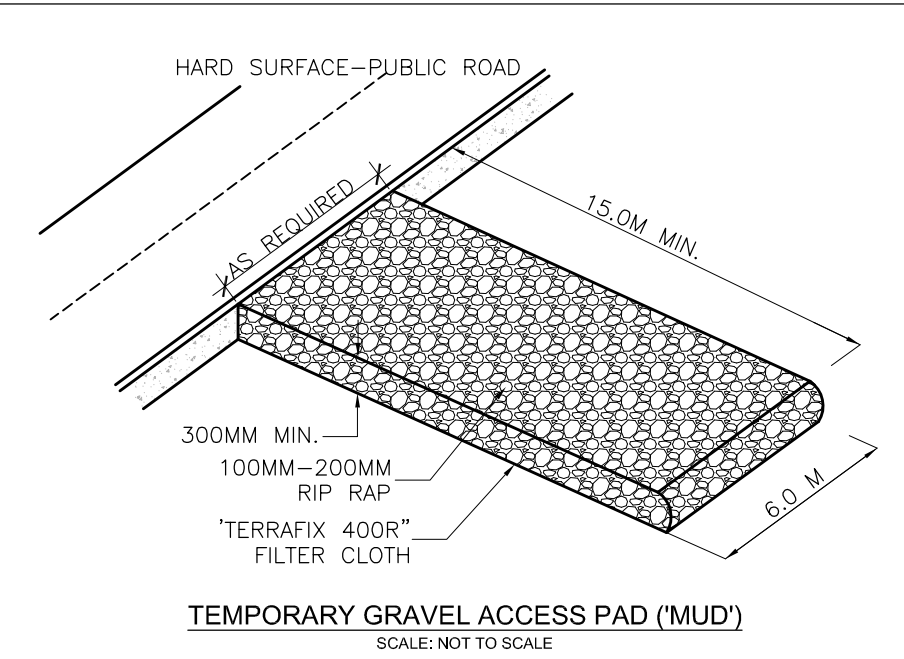
SILT FENCE
1. SILT FENCE TO BE INSTALLED ALONG PERIMETER OF SITE.
2. SILTATION CONTROLS IS TO BE INSTALLED PRIOR TO THE START OF ANY WORK. SILT CONTROLSTO BE MAINTAINED UNTIL ALL WORK IS COMPLETED AND SITE IS STABILIZED.

EROSION & SILTATION CONTROL NOTES:
1. CONTRACTOR IS RESPONSIBLE TO KEEP THE ROADS CLEAN DURING ALL CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE TOWN.
2. SILT FENCE TO BE INSTALLED IN LOCATIONS SHOWN ON PLAN PRIOR TO START OF CONSTRUCTION AND MAINTAINED UNTIL THE SITE IS STABILIZED. SILT FENCE AS PER DETAIL THIS DRAWING.
3. IF BUILDING CONSTRUCTION IS INTERRUPTED AND INACTIVITY EXCEEDS 30 DAYS, ALL AREAS THAT HAVE BEEN STRIPPED SHALL BE STABILIZED BY SEED.

LANDSCAPING TO BE DONE IN SUCH MANNER AS NOT TO IMPACT VISIBILITY OF MOTORIST LEAVING THE SITE.



KEY PLAN



LEGEND	
	PROPERTY LINE
	REGULATE LIMIT
	EXISTING CONCRETE CURB
	PROPOSED CONCRETE CURB
	PROPOSED DEPRESSED CONCRETE CURB
	AREA DRAIN
	EXISTING STORM MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CATCH BASIN WITH SEDIMENT TRAP
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN MANHOLE WITH SEDIMENT TRAP
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	FIRE HYDRANT
	BARRIER FREE PARKING
	MAIN ENTRANCE
	OVER HEAD DOOR
	DEPRESSED CURB
	FINISHED FLOOR ELEVATION
	GRAVEL AREA
	LANDSCAPED AREA
	CONCRETE
	PAINTED LINE
	EXISTING HYDRO POLE
	EXISTING HYDRO POLE/STREET LIGHT
	EXISTING MISC. POLE
	SILT FENCE
	STONE PAD CONSTRUCTION ENTRANCE

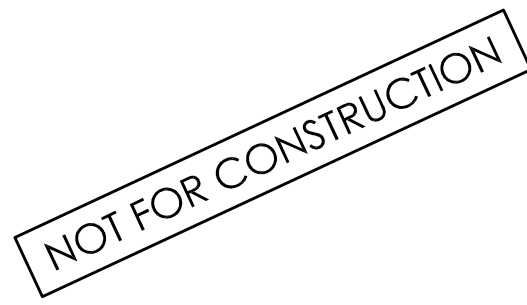
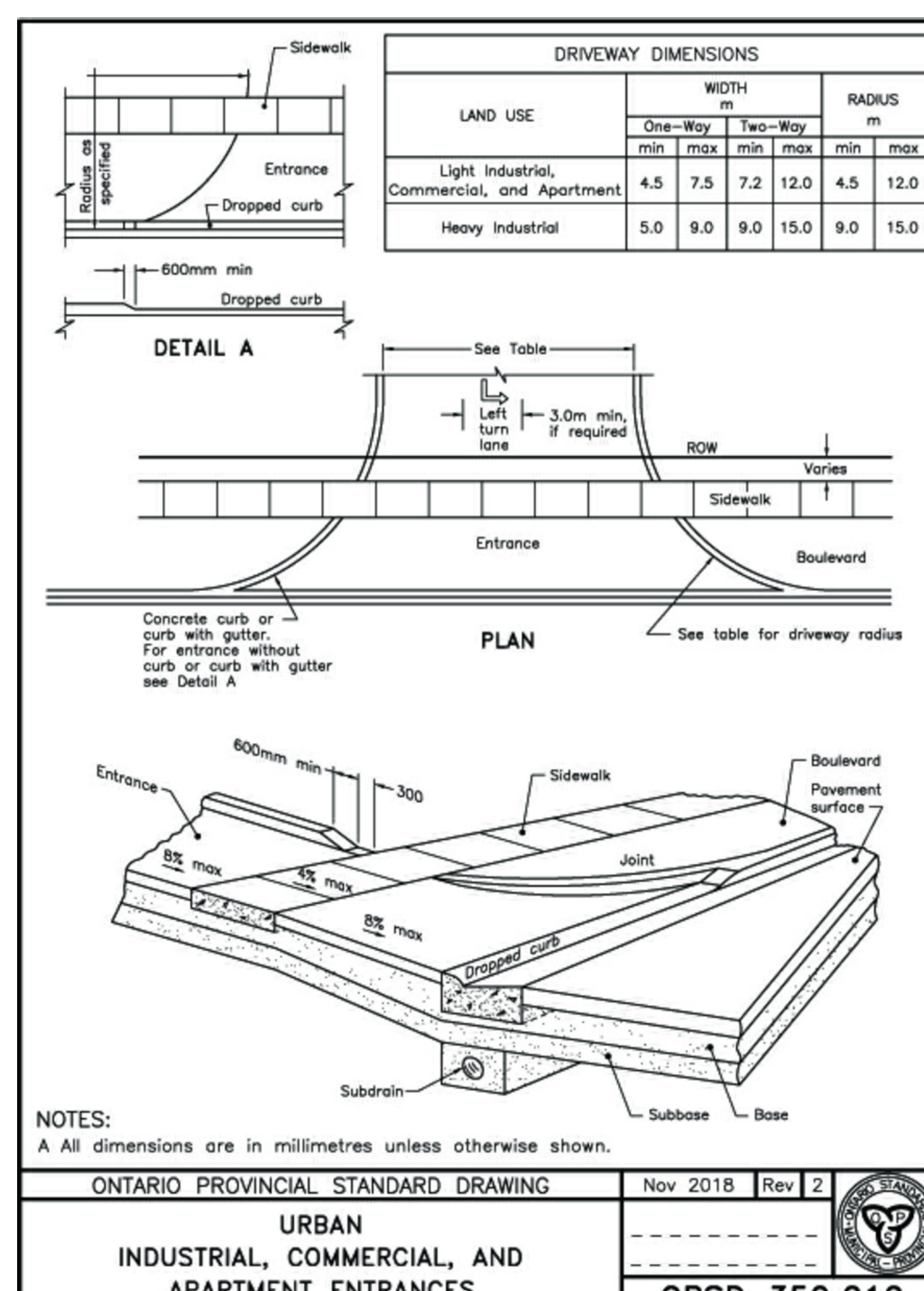
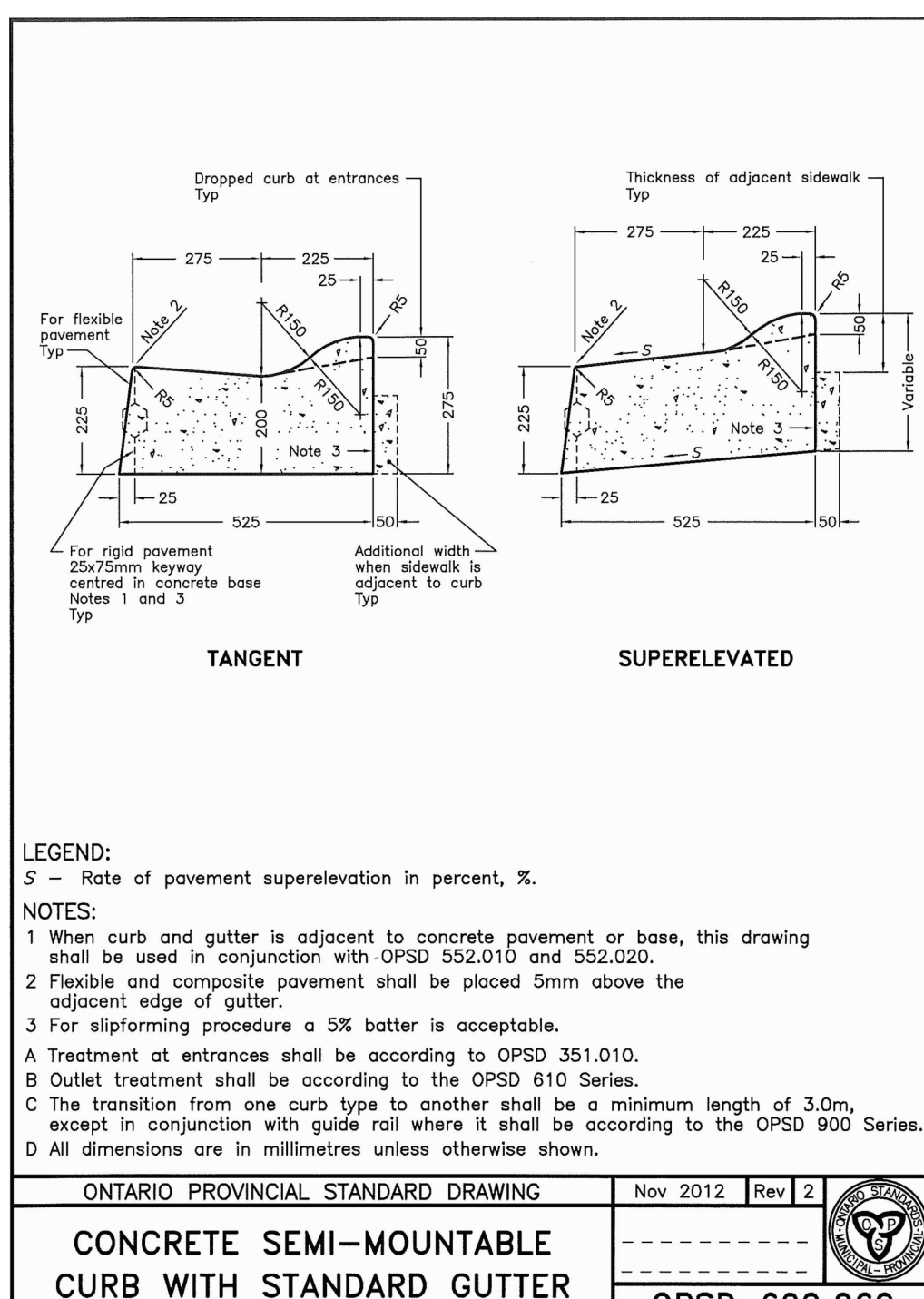
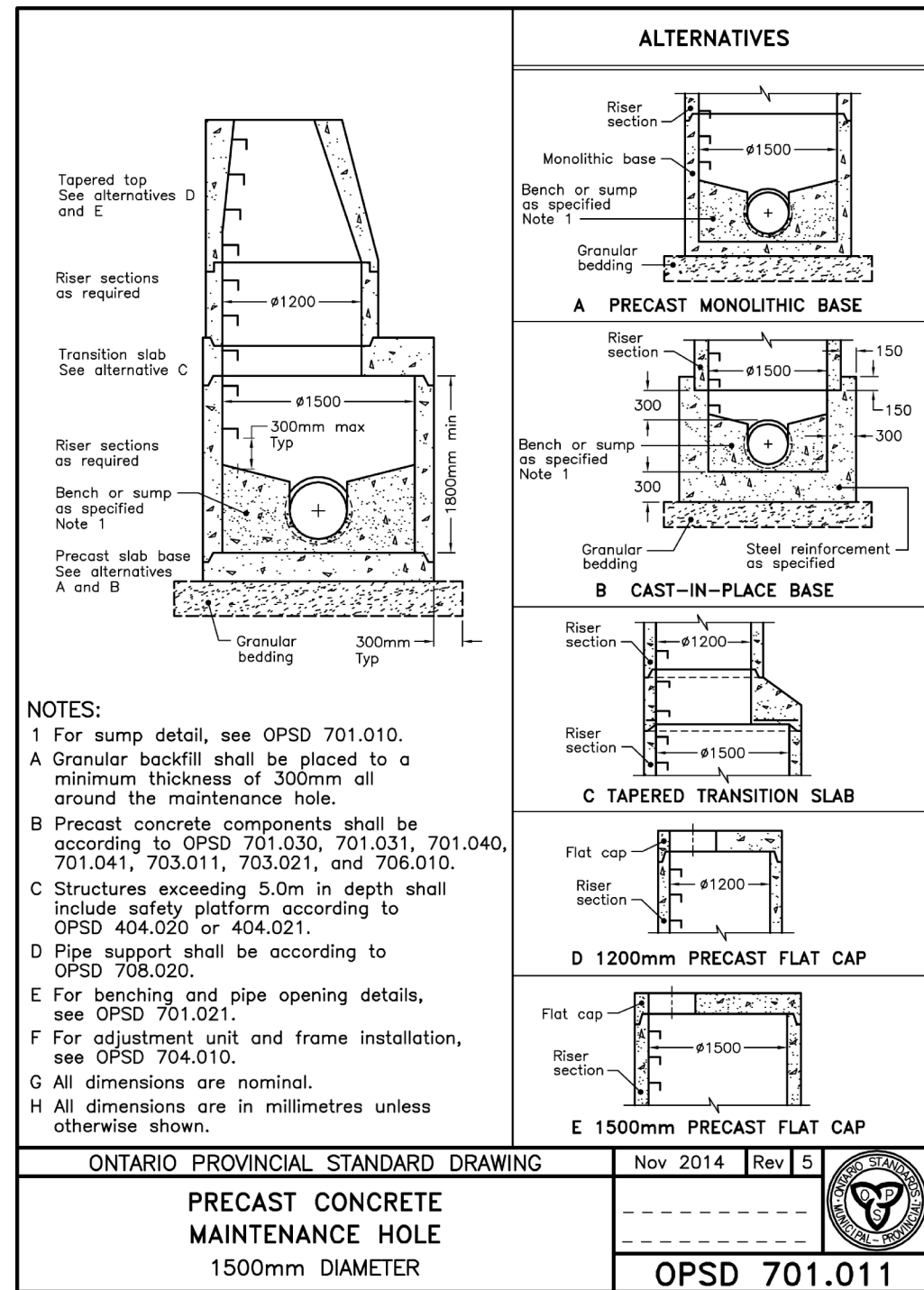
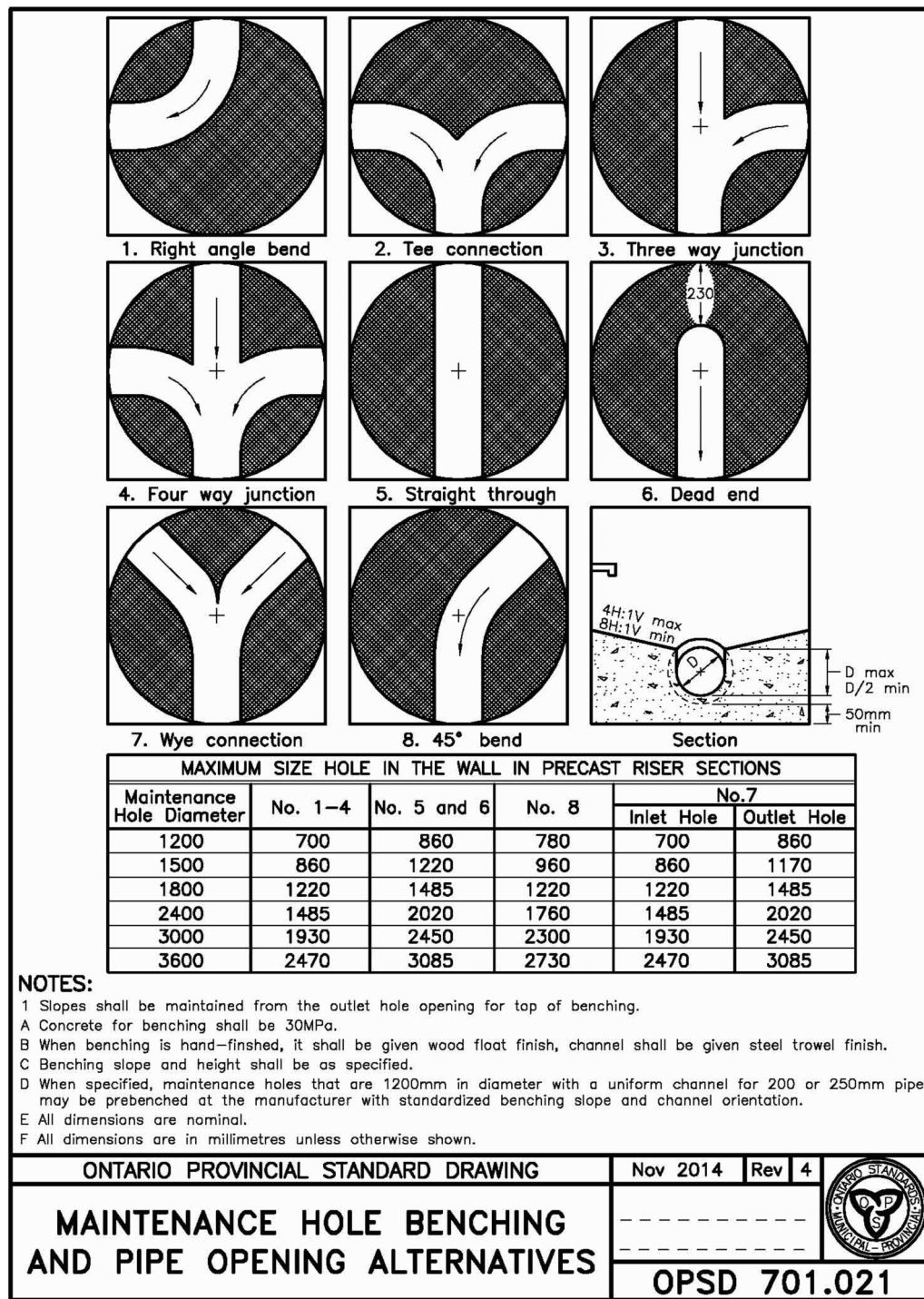
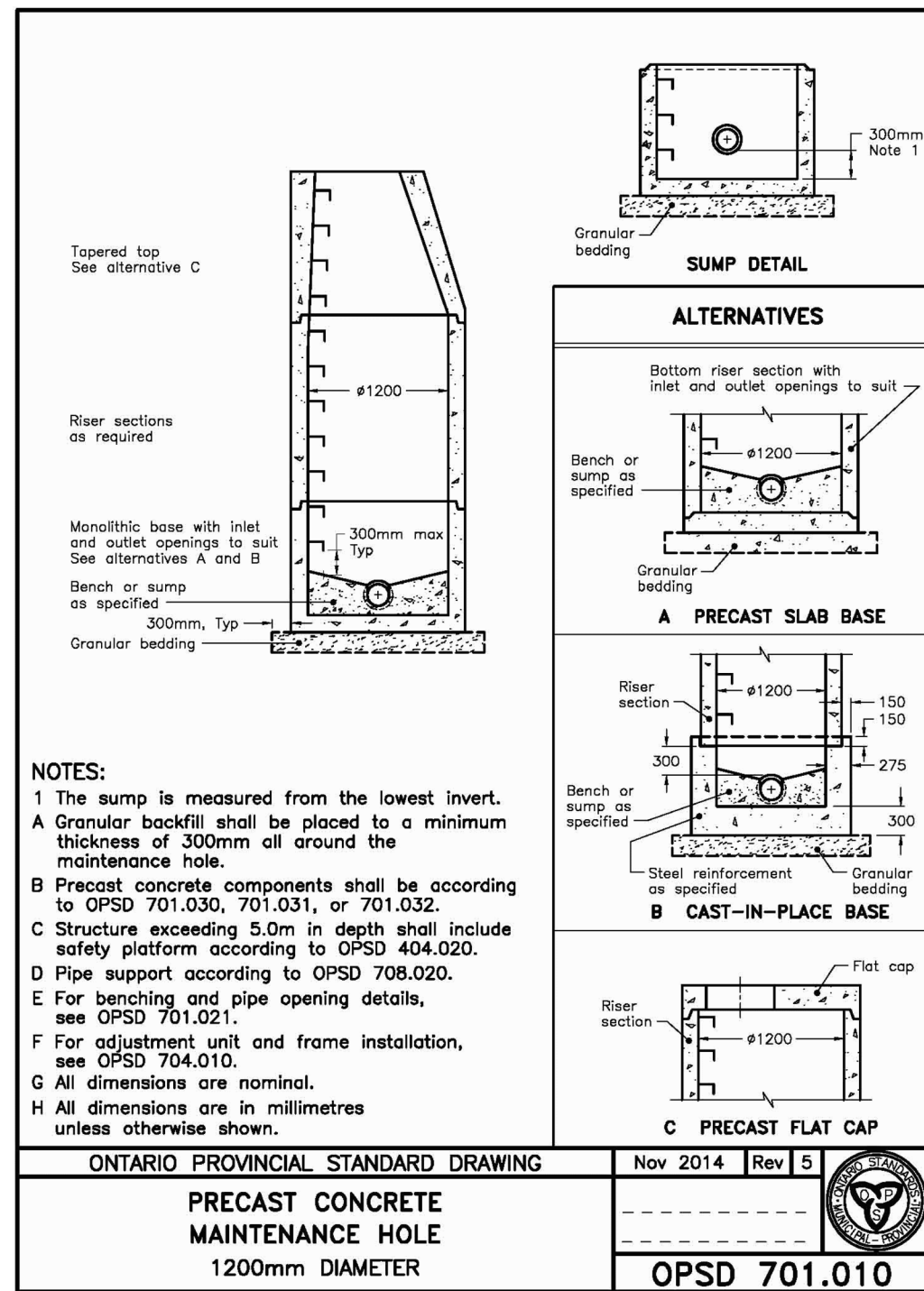
MUNICIPAL ADDRESS & LEGAL DESCRIPTION	
1144 HUGEL AVE, MIDLAND, ON. PART OF EAST-HALF LOT 106 & PART OF LOT 107, CONCESSION 1 FORMERLY THE TOWNSHIP OF TINY NOW TOWN OF MIDLAND (COUNTY OF SIMCOE)	
SURVEYOR INFORMATION	
SURVEY PLAN ON DATED: F.S. SURVEYING INC. 7 Colwick Drive, North York, ON M2K 2G2 T: 416.786.8080 E: Info@fssurveying.com	
APPLICANT	
n Architecture Inc. 9120 LESLIE STREET, SUITE-208, RICHMOND HILL, ONTARIO L4B 3J9 T: 416.303.4821 E: Info@narchitecture.com www.narchitecture.com	
OWNER INFORMATION	
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PROJECT NORTH

NOT FOR CONSTRUCTION

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01.	15 MAR. 2023	ISSUED FOR SPA-1	LU
No.	Date	Version	Dwn.
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PROJECT:			
SHOELESS JOE'S RESTAURANT 1144 HUGEL AVE MIDLAND, ONTARIO			
DRAWING TITLE:			
EROSION & SEDIMENT CONTROL PLAN			
DRAWN BY: SA		DATE: 25th AUG. 2022	
CHECKED BY: AZ		SCALE: 1:250	
PROJECT NO.:		DRAWING NO.:	
21-37		C3	



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SHOELESS JOE'S RESTAURANT
1144 HUGEL AVE
MIDLAND, ONTARIO

DRAWN BY: SA	DATE: 25th AUG. 2022
CHECKED BY: AZ	SCALE: 1:250
PROJECT NO.:	DRAWING NO.:

21-37	C4
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