Noise Feasibility Study

Bayport 12-Storey Residential Buildings, 1191 Harbourview Drive, Midland, Ontario

DRAFT: March 7, 2025
HGC Project #: 02400859

Prepared for:

Bayport Resort Ltd.
315 – 220 Duncan Mill Road
North York, Ontario
M3B 3J5

HGC
NOISE | VIBRATION | ACOUSTICS

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Version Control
Noise Feasibility Study, Bayport 12-Storey Residential Buildings, 1191 Harbourview Drive, Midland, Ontario

Ver.	Date	Version Description	Prepared By
1.0	March 7, 2025	Noise Feasibility Study in support of the planning and approvals process	V. Garcia

Prepared by:

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Limitations

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Table of Contents

1 INTRODUCTION AND SUMMARY

HGC Engineering was retained by Bayport Resort Ltd. to conduct a noise feasibility study for a two proposed 12-storey residential buildings located at 1191 Harbourview Drive in Midland, Ontario. The surrounding area is primarily existing residential to the north and south. The Bay Port Yachting Centre is located to the east of the site. A noise study is required by the municipality as part of the planning and approvals process.

The study finds that the traffic noise exceeds the MECP sound level criteria during daytime and nighttime hours at the proposed development. Transportation noise can be mitigated by standard building envelope assemblies. An alternative means of ventilation to open windows are required for the proposed buildings. Air conditioning meets and exceeds this requirement and is likely to be included. Any exterior wall, and double-glazed window construction meeting the minimum requirements of the Ontario Building Code (OBC) will provide adequate sound insulation for all the dwelling units in this development. Noise warning clause are recommended to inform future residents of the sound level excesses and the presence of the nearby marina.

2 SITE DESCRIPTION AND NOISE SOURCES

Figure 1 is a key plan of the site. Figure 2 is the proposed site plan prepared by Chamberlain Architect Services Limited, last revised October 18, 2024. The proposed residential development is to consist of two 12-storey buildings with a connecting 4-storey podium. Supporting drawings are included in Appendix A.

A site visit was conducted on January 15, 2025, to investigate the acoustic environment of the site. Figure 3 includes an aerial photo showing the surrounding land uses. There are existing residences surrounding the site along Harbourview Drive and Bayport Boulevard. To the east of the site is The Bay Port Yachting Centre. There are existing single storey dwellings immediately to the north of the marina and the subject site. To the south of the site are existing 4-storey residential buildings. There are no significant sources of

stationary noise within 500 m of the subject site. Approximately 700 m to the southeast of the subject site is an ADM Milling Company facility located at 202 First St. Sound levels from the facility were not audible at the subject site during the site visit. There are several existing dwellings along Fourth Street and some dwellings south of Bay Street. The closest existing dwelling is within 50 m from the ADM property line. A review of publicly available information indicates ADM does have an active Environmental Compliance Approval (ECA) and as result is required to meet the applicable sound level limits at the surrounding existing residential dwellings which are significantly closer than the subject site. HGC has entered into a confidentiality agreement with ADM to review their acoustic model of their site. We have not yet received the acoustic model and therefore cannot provide further comment. When the acoustic model is available, a supplementary addendum will be provided with regard to noise from the ADM and any potential noise impact.

3 ROAD TRAFFIC NOISE ASSESSMENT

3.1 Road Traffic Noise Criteria

Guidelines for acceptable levels of road traffic noise impacting residential developments are given in the MECP publication NPC-300, “Environmental Noise Guideline Stationary and Transportation Sources – Approval and Planning”, Part C release date October 21, 2013 and are listed in Table 1 below. The values in Table 1 are energy equivalent (average) sound levels [L_{EQ}] in units of A weighted decibels [dBA].

Table 1: Road Traffic Noise Criteria

Space	Daytime $L_{EQ(16\ hour)}$ Road	Nighttime $L_{EQ(8\ hour)}$ Road
Outdoor Living Areas	55 dBA	--
Inside Living/Dining Rooms	45 dBA	45 dBA
Inside Bedrooms	45 dBA	40 dBA

Daytime refers to the period between 07:00 and 23:00, while nighttime refers to the period between 23:00 and 07:00. The term "Outdoor Living Area" (OLA) is used in reference to an outdoor patio, a backyard, a terrace or other area where passive recreation is expected to occur. Balconies that are less than 4 m in depth are not considered to be outdoor living areas under MECP guidelines.

The MECP guidelines allow the daytime sound levels in an OLA to be exceeded by up to 5 dBA, without mitigation, if warning clauses are placed in the purchase and rental agreements to the property. Where OLA sound levels exceed 60 dBA, physical mitigation is recommended to reduce the OLA sound level to below 60 dBA and as close to 55 dBA as technically, economically and administratively feasible.

A central air conditioning system as an alternative means of ventilation to open windows is required for dwellings where nighttime sound levels the façade exceed 60 dBA or daytime sound levels at the façade exceed 65 dBA. If the sound level at the facade is greater than 55 dBA and less than or equal to 65 dBA, the dwelling should be designed with a provision for the installation of central air conditioning in the future, at the occupant's discretion.

Building components such as walls, windows and doors must be designed to achieve indoor sound level criteria when the sound level at the façade is greater than 60 dBA or the daytime sound level is greater than 65 dBA due to road traffic noise.

Warning clauses to notify future residents of possible excesses are also required when nighttime sound levels exceed 50 dBA at the plane of the bedroom window and daytime sound levels exceed 55 dBA in the outdoor living area and at the plane of the living/dining room window due to road traffic.

3.2 Traffic Sound Level Assessment

3.2.1 Road Traffic Data

Road traffic data for Harbourview Drive was obtained from HGC past project files for projects in the area and is included in Appendix B. Harbourview Drive is one lane in each direction. The commercial vehicle percentage was assumed to be 2% split into 1% heavy trucks and 2% medium trucks. A day/night split of 90%/10% was used in assumed along with a 50 km/h speed limit was used in the analysis. Table 2 summarizes the data used in the analysis.

Table 2: Future Road Traffic Data

Roadway	AADT	Day / Night Split [%]	Trucks Percentage (%)		Speed Limit [km/h]
			Medium	Heavy	
Harbourview Drive	16 451	90 / 10	1.0	1.0	50

3.2.2 Road Traffic Noise Predictions

To assess the levels of road traffic noise which would impact the site in the future, road traffic predictions were made using STAMSON version 5.04, a computer algorithm developed by the MECP. Sample STAMSON output is included in Appendix C.

Prediction locations were chosen around the site to obtain a good representation of the future sound levels at the proposed development with exposure to the surrounding roadways. The worst-case prediction locations were chosen at the top storey of the proposed buildings, as indicated in Figure 2. The results of these predictions are summarized in Table 3.

Table 3: Future Road Traffic Sound Levels, [dBA], Without Mitigation

Prediction Location	Description	Daytime in OLA $L_{EQ(16\ hour)}$	Daytime at Façade $L_{EQ(16\ hour)}$	Nighttime at Façade $L_{EQ(8\ hour)}$
[A]	Southwest façade	--	64	58
[B]	Northwest/southeast façade	--	60	54
[C]	Fourth Floor OLA	<55	--	--

3.3 Traffic Noise Recommendations

The predictions indicate that the future traffic sound levels will be within MECP guidelines at the proposed buildings.

3.3.1 Outdoor Living Areas

Balconies may be provided for the proposed buildings. Balconies are not considered to be outdoor amenity areas by the MECP if they are less than 4 m in depth. No sound level predictions are required for these balconies.

There are common outdoor amenity spaces located on the north side of the building on the 4th floor. The predicted sound level in these amenity spaces is less than 55 dBA as the buildings themselves provide shielding from the roadway. No further mitigation is required.

3.3.2 Indoor Living Areas

The predicted future sound levels of the proposed 12-storey buildings have predicted sound levels between 56 and 65 dBA during the daytime hours and between 51 to 60 dBA during the nighttime hours. To address these excesses, these units require an alternative means of ventilation to open windows. Air conditioning meets and exceeds this requirement and likely will be included in any event. The location, installation and sound ratings of the outdoor air conditioning devices should minimize noise impacts and comply with criteria of MECP publication NPC-216.

3.3.3 Building Façade Constructions

Since the daytime and nighttime sound levels at the facades of the residential units will be less than 65 dBA during the day and less than 60 dBA during the night, any exterior wall, and double-glazed window construction meeting the minimum requirements of the Ontario Building Code (OBC) will provide adequate sound insulation for all the dwelling units in this development.

4 WARNING CLAUSES

The MECP guidelines recommend that warning clauses be included in the property and tenancy agreements for all the dwellings with anticipated traffic noise sound level excesses and the presence of the marina. The following noise warning clauses are required.

A suggested wording for future dwellings with sound level excesses of the MECP criteria but do not require physical mitigation measures is given below.

Type A:

> Purchasers/tenants are advised that sound levels due to increasing road traffic may occasionally interfere with some activities of the dwelling occupants as the sound levels exceed the sound level limits of the Municipality and the Ministry of the Environment.

A suggested wording for future dwellings requiring central air conditioning systems is given below.

Type D:

> This dwelling unit has been supplied with a central air conditioning system which will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are within the sound level limits of the Municipality and the Ministry of the Environment.

A suggested wording for dwelling units with exposure to the marina where sound levels will at times be audible is given below.

Type E:

> Purchasers/tenants are advised that due to the proximity of the adjacent Marina, noise from this area may at times be audible.

These sample clauses are provided by the MECP as examples and can be modified by the Municipality as required.

5 IMPACT OF THE DEVELOPMENT ON THE ENVIRONMENT

Sound levels from noise sources such as rooftop air-conditioners, cooling towers, exhaust fans, etc. should not exceed the minimum one-hour L_{EQ} ambient (background) sound level from road traffic, at any potentially impacted residential point of reception. Based on the levels observed during our site visit, the typical minimum ambient sound levels in the area are expected to be around 50 dBA during the day and 45 dBA at night. Thus, any electro-mechanical equipment associated with this development (e.g. emergency generator testing, fresh-air handling equipment, etc.) should be designed such that they do not result in noise impact beyond these ranges.

6 IMPACT OF THE DEVELOPMENT ON ITSELF

Section 5.8.1.1 of the Ontario Building Code (OBC), released on January 1, 2020, specifies the minimum required sound insulation characteristics for demising partitions, in terms of Sound Transmission Class (STC) or Apparent Sound Transmission Class (ASTC) values. In order to maintain adequate acoustical privacy between separate suites in a multi-tenant building, inter-suite walls must meet or exceed STC-50 or ASTC-47. Suite separation from a refuse chute or elevator shaft must meet or exceed STC-55. In addition, it is recommended that the floor/ceiling constructions separating suites from any amenity or commercial spaces also meet or exceed STC-55. Tables 1 and 2 in

Section SB-3 of the Supplementary Guideline to the OBC provide a comprehensive list of constructions that will meet the above requirements.

Tarion's Builder Bulletin B19R requires the internal design of condominium projects to integrate suitable acoustic features to insulate the suites from noise from each other and amenities in accordance with the OBC and limit the potential intrusions of mechanical and electrical services of the building on its residents. If B19R certification is needed, an acoustical consultant is required to review the mechanical and electrical drawings and details of demising constructions and mechanical/electrical equipment, when available, to help ensure that the noise impact of the development on itself is maintained within acceptable levels.

7 SUMMARY

Analysis indicates that the predicted sound level will be within MECP guidelines limits at the proposed buildings. The following recommendations are provided.

1. An alternative means of ventilation to open windows is required for the proposed buidlings. Air conditioning meets and exceeds this requirement and is likely to be included.

2. Any exterior wall, and double-glazed window construction meeting the minimum requirements of the OBC will provide adequate sound insulation for the proposed building.

3. Warning clauses should be used to inform future residents of the sound level excesses and presence of the nearby marina.

4. An acoustical consultant should review the mechanical drawings and details of demising constructions, when available, to help ensure that the noise impact of the development on the environment, and of the development on itself, are maintained within acceptable levels.

5. Tarion's Builder Bulletin (B19R) requires that the internal design of condominium projects integrates suitable acoustic features to insulate the suites from noise from each other and amenities in accordance with the OBC, and limit the potential intrusions of mechanical and electrical services of the buildings on its residents. If B19R certification is needed, an acoustical consultant is required to review the mechanical and electrical drawings and details of demising constructions and mechanical/electrical equipment, when available, to help ensure that the noise impact of the development on itself are maintained within acceptable levels. Outdoor sound emissions should also be checked to ensure compliance with the City's by-law.

The reader is referred to the previous sections of the report where these recommendations are discussed in more detail.

Figure 1 - Key Plan

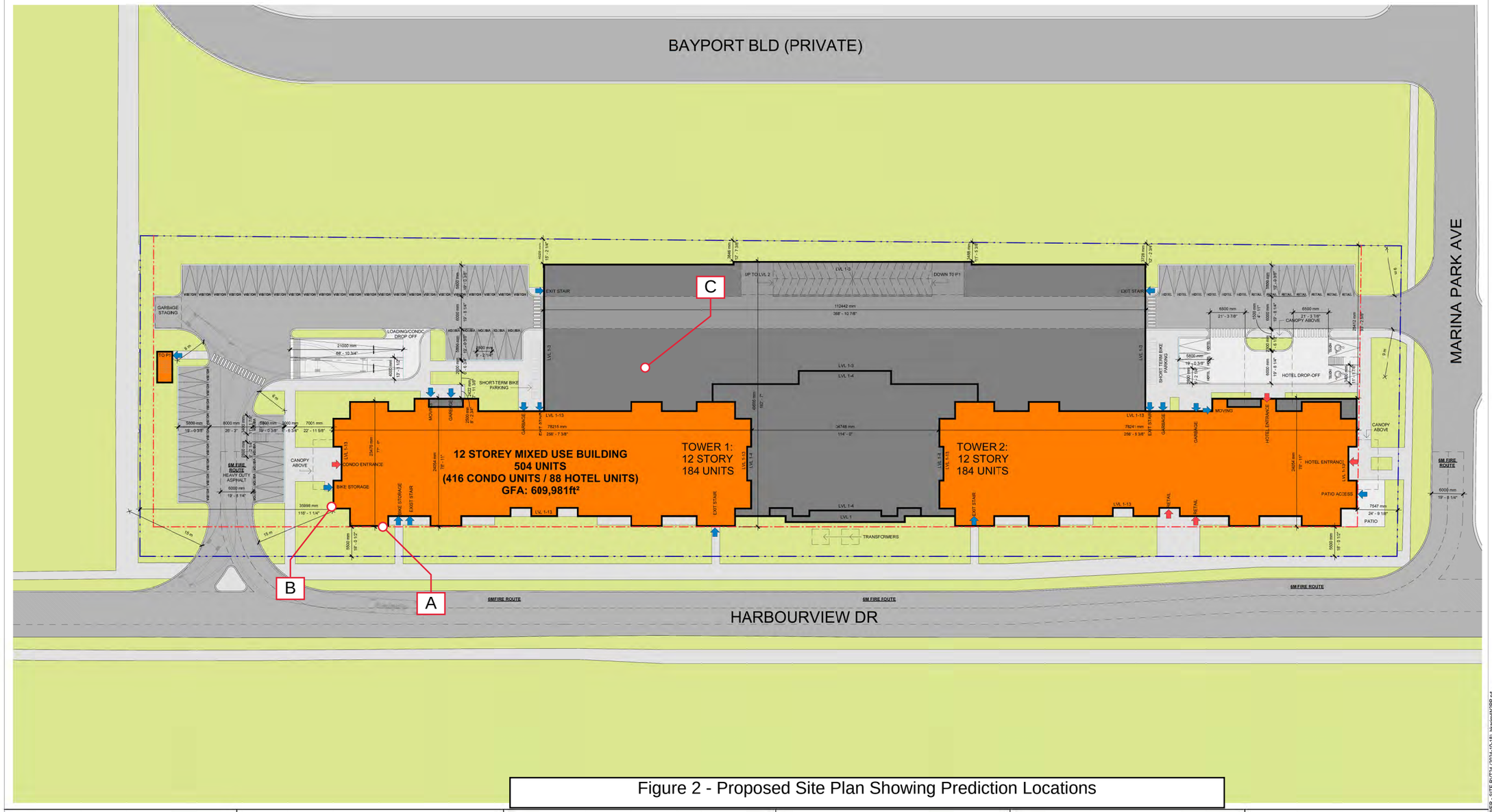

Figure 2 - Proposed Site Plan Showing Prediction Locations

SITE STATISTICS			
DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
BUILDING FOOTPRINT			
MIXED USE BUILDING	7091.65 m²	76334 ft²	51.3%
	7091.65 m²	76334 ft²	51.3%
HARD LANDSCAPE			
ASPHALT	2066.45 m²	22243 ft²	14.9%
CURB	94.66 m²	1019 ft²	0.7%
PAVERS	533.46 m²	5742 ft²	3.9%
SIDEWALK	811.27 m²	8732 ft²	5.9%
	3505.84 m²	37737 ft²	25.3%
SOFT LANDSCAPE			
LANDSCAPE	3235.48 m²	34826 ft²	23.4%
	3235.48 m²	34826 ft²	23.4%
	13832.97 m²	148897 ft²	100.0%
OVERALL	13822.80 m²	148787 ft²	100.0%

PARKING SCHEDULE BY TYPE	
Type	Count
MIDLAND ACCESSIBLE (5.8M x 3.4M)	6
MIDLAND TYPICAL (5.8M x 2.8M)	744
	750

PARKING SCHEDULE		
Type	Comments	Count
LVL 1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	HOTEL	2
MIDLAND TYPICAL (5.8M x 2.8M)	HOTEL	106
MIDLAND TYPICAL (5.8M x 2.8M)	RETAIL	7
MIDLAND ACCESSIBLE (5.8M x 3.4M)	VISITOR	1
MIDLAND TYPICAL (5.8M x 2.8M)	VISITOR	51
LVL 1: 167		167
LVL 2		
MIDLAND TYPICAL (5.8M x 2.8M)	CONDO	109
LVL 2: 109		109
LVL 3		
MIDLAND TYPICAL (5.8M x 2.8M)	CONDO	115
LVL 3: 115		115
P1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	CONDO	3
MIDLAND TYPICAL (5.8M x 2.8M)	CONDO	245
MIDLAND TYPICAL (5.8M x 2.8M)	VISITOR	111
P1: 359		359
		750

OVERALL UNIT MIX			
Name	Area	Count	Count %
1BD	502 ft² ... 1318 ft²	420	83%
1BD SMALL	502 ft² ... 502 ft²	2	0%
2BD	764 ft² ... 1195 ft²	82	16%
		504	

CONDO UNIT MIX			
Name	Area	Count	Count %
1BD	502 ft² ... 728 ft²	346	83%
2BD	764 ft² ... 1195 ft²	70	17%
		416	

HOTEL UNIT MIX			
Name	Area	Count	Count %
1BD	543 ft² ... 1318 ft²	74	84%
1BD SMALL	502 ft² ... 502 ft²	2	2%
2BD	1006 ft² ... 1195 ft²	12	14%
		88	

GFA BY CATEGORY		
Department	Area	Area (%)
CONDO	379925 ft²	62%
HOTEL	163344 ft²	27%
RETAIL	1143 ft²	0%
SHARED	65720 ft²	11%
Grand total: 709	610132 ft²	

GFA BY LEVEL		
Level	Area	Area (%)
LVL 1	75880 ft²	12%
LVL 2	74834 ft²	12%
LVL 3	74834 ft²	12%
LVL 4	72145 ft²	12%
LVL 5	34795 ft²	6%
LVL 6	34795 ft²	6%
LVL 7	34795 ft²	6%
LVL 8	34795 ft²	6%
LVL 9	34795 ft²	6%
LVL 10	34795 ft²	6%
LVL 11	34795 ft²	6%
LVL 12	34795 ft²	6%
T/O ROOF DECK	34076 ft²	6%
Grand total: 709	610132 ft²	

Chamberlain
Architects
Constructors
Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario. L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

SEAL

CONSTRUCTION NORTH TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

SITE PLAN

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	JM
SCALE	1 : 350
PROJECT NO.	124043
DRAWING	A001

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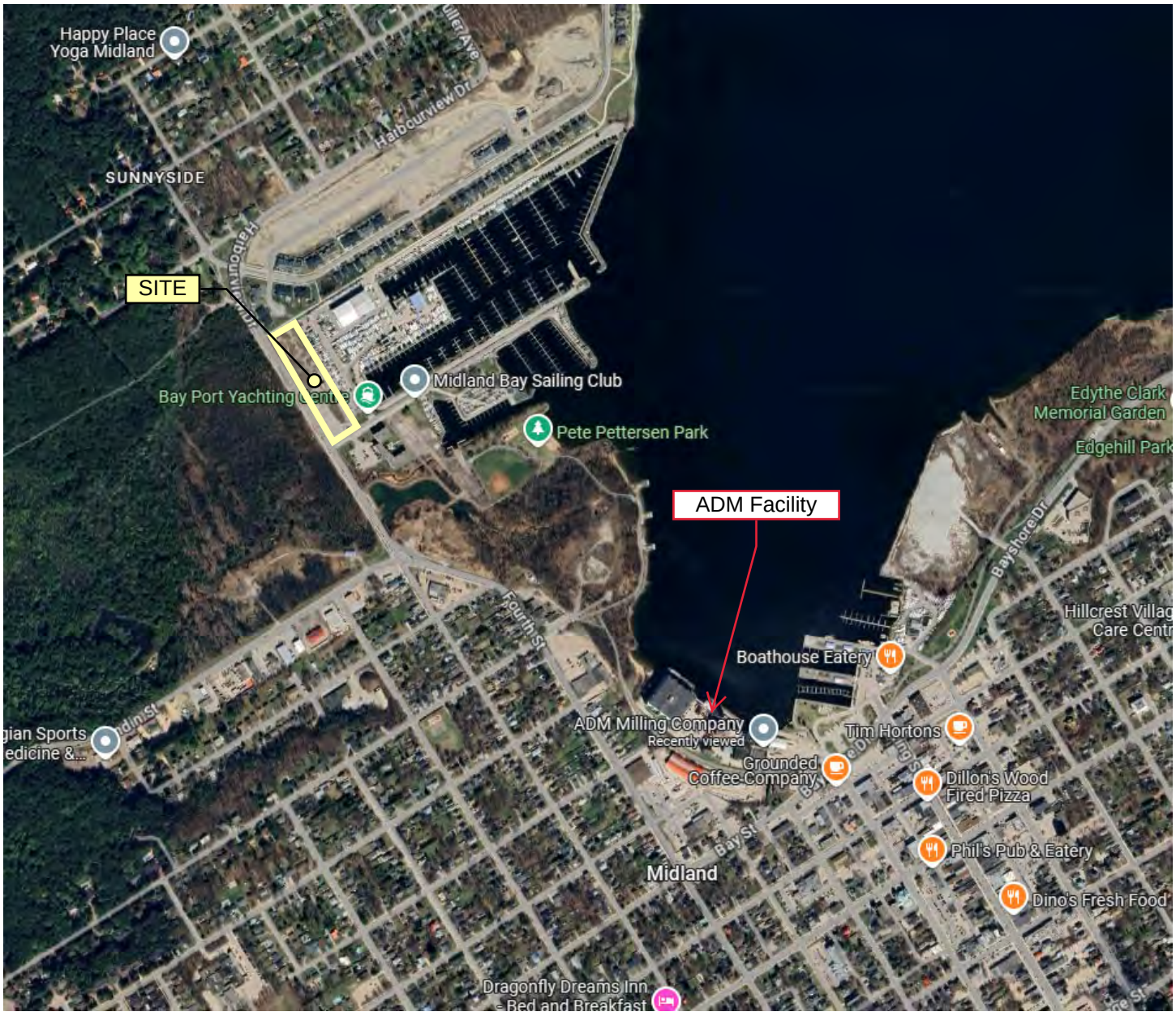
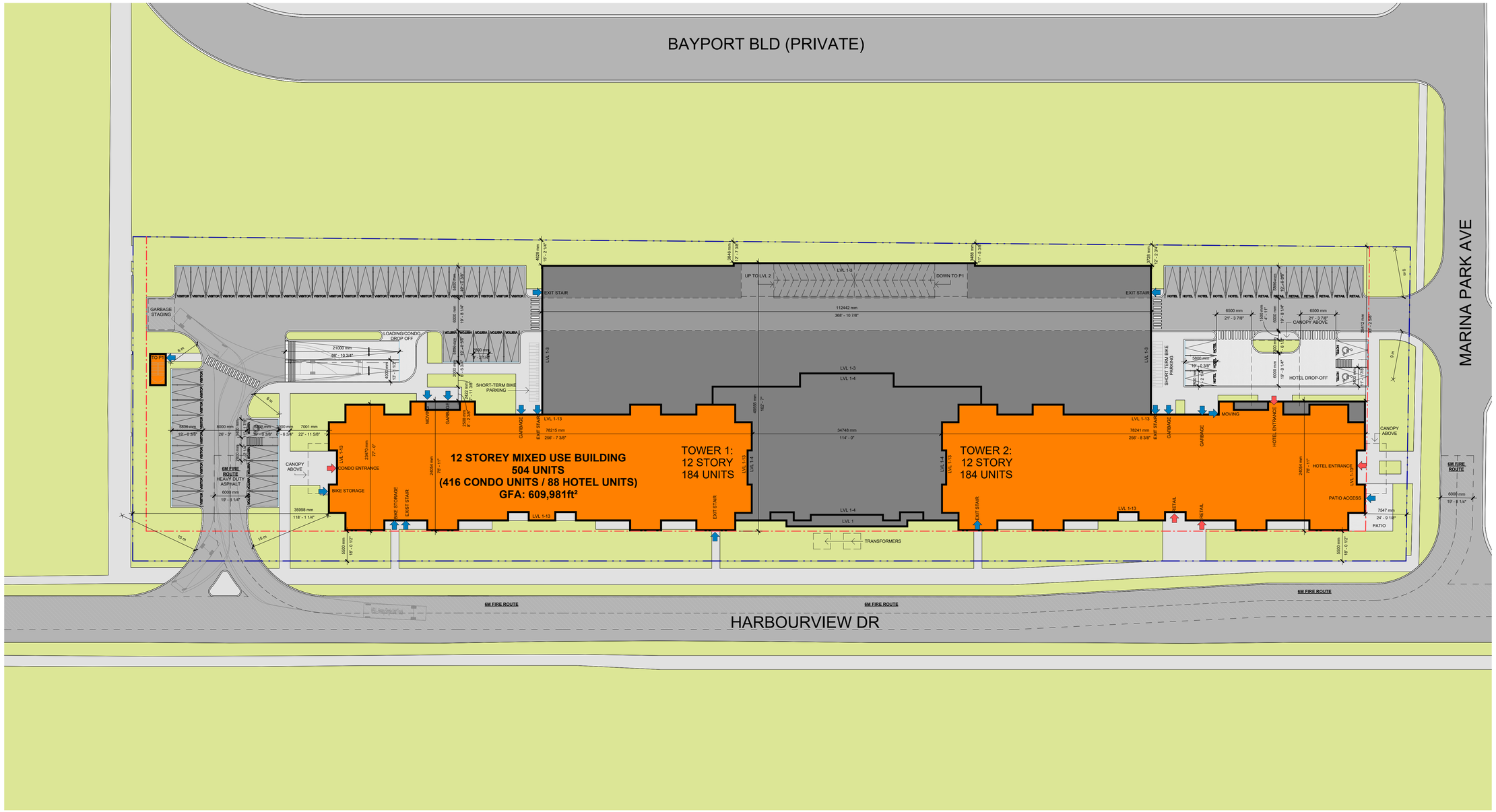


Figure 3 - Aerial Photo Showing Surrounding Land Uses

Appendix A
Supporting Drawings



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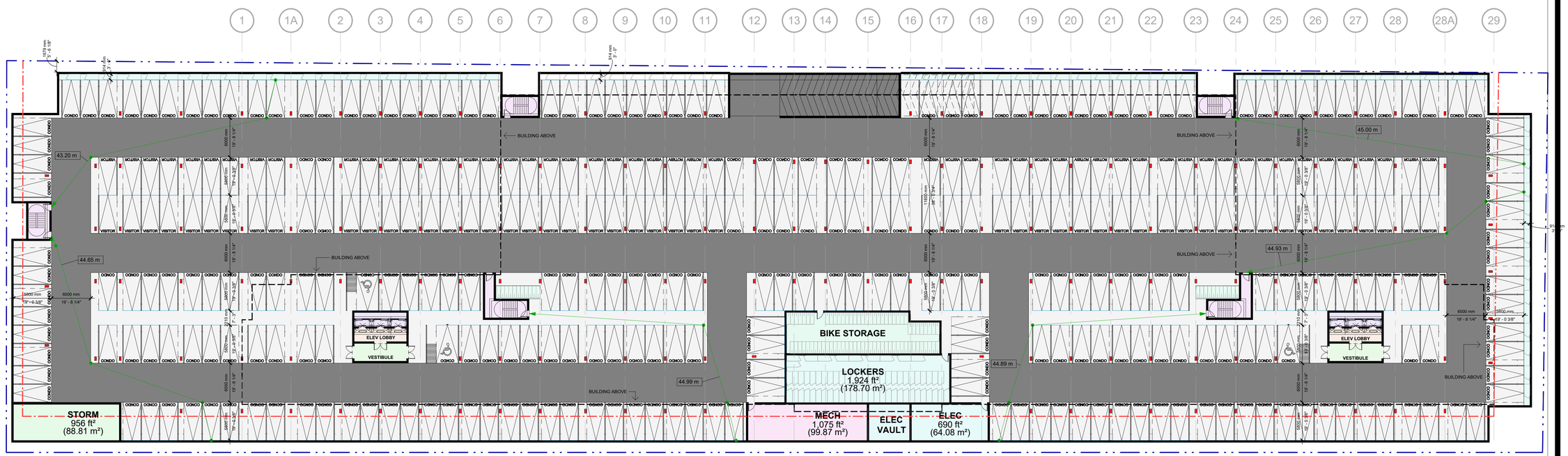

P1 - GFA	
Name	Area
BIKE STORAGE	1773 ft²
ELEC	690 ft²
ELEC VAULT	367 ft²
ELEV	364 ft²
ELEV LOBBY	344 ft²
LOCKERS	3794 ft²
MECH	1075 ft²
P1 GARAGE	124872 ft²
STAIRS	1018 ft²
STORM	956 ft²
TRANSFORMER	0 ft²
VESTIBULE	462 ft²
Grand total: 28	135715 ft²

TOTAL UNDERGROUND PARKING: 345 SPACES
TOTAL UNDERGROUND GFA: 137,019ft²

EFFICIENCY: 397.16ft² / PARKING SPACE

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DRAWING	A002

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ZONING INFORMATION

4.1.5 NUMBER OF PARKING SPACES REQUIRED
- APARTMENT DWELLING UNIT:
  a. 1.5 PER DWELLING UNIT OF WHICH 25% SHALL BE FOR DESIGNATED VISITOR PARKING
- HOTEL AND MOTEL:
  a. 1.25 PER GUEST ROOM PLUS 1 FOR EACH 4 PERSONS THAT CAN BE ACCOMODATED AT ANY ONE TIME IN A DINING ROOM, LICENSED BEVERAGE ROOM, BANQUET ROOM
- RETAIL STORE:
  a. 1 PER 90m² GFA

4.1.8 BARRIER FREE PARKING REGULATIONS
- 501 OR MORE SPACES: 6 BARRIER FREE PARKING SPACES REQUIRED

4.1.10.2 LOADING REQUIREMENTS
- NON RESIDENTIAL: 501m² UP TO AND INCLUDING 2000m²: 1 SPACE
- RESIDENTIAL: APARTMENT BUILDINGS CONTAINING 50 DWELLING UNITS OR MORE: 1 SPACE

SITE STATISTICS

DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
BUILDING FOOTPRINT			
MIXED USE BUILDING	7091.65 m²	76334 ft²	51.3%
	7091.65 m²	76334 ft²	51.3%
HARD LANDSCAPE			
ASPHALT	2066.45 m²	22243 ft²	14.9%
CURB	94.66 m²	1019 ft²	0.7%
PAVERS	533.46 m²	5742 ft²	3.9%
SIDEWALK	811.27 m²	8732 ft²	5.9%
	3505.84 m²	37737 ft²	25.3%
SOFT LANDSCAPE			
LANDSCAPE	3235.48 m²	34826 ft²	23.4%
	3235.48 m²	34826 ft²	23.4%
	13832.97 m²	148897 ft²	100.0%
OVERALL	13822.80 m²	148787 ft²	100.0%

CONDO AMENITIES (INCLUDING BALCONIES & TERRACES)

Name	Area
AMENITY	
BALCONY	2817 m²
COVERED SEATING AREA	154 m²
EXERCISE ROOM	230 m²
MULTI-PURPOSE	230 m²
OUTDOOR AMENITY (ACTIVE SPACE)	1440 m²
OUTDOOR AMENITY (INACTIVE SPACE)	617 m²
OUTDOOR POOL	247 m²
TERRACE	393 m²
	6128 m²
OPTIONAL AMENITY	
OPTIONAL ROOFTOP TERRACE	2598 m²
	2598 m²
	8726 m²

TOTAL CONDO UNITS: 416
TOTAL AMENITY AREA: 93,689ft²

225.21ft² PER UNIT

CONDO AMENITIES (EXCLUDING BALCONIES & TERRACES)

Name	Area
AMENITY	
COVERED SEATING AREA	154 m²
EXERCISE ROOM	230 m²
MULTI-PURPOSE	230 m²
OUTDOOR AMENITY (ACTIVE SPACE)	1440 m²
OUTDOOR AMENITY (INACTIVE SPACE)	617 m²
OUTDOOR POOL	247 m²
	2919 m²
OPTIONAL AMENITY	
OPTIONAL ROOFTOP TERRACE	2598 m²
	2598 m²
	5517 m²

TOTAL CONDO UNITS: 416
TOTAL AMENITY AREA: 59,146ft²

142.18ft² PER UNIT

PARKING SCHEDULE

Type	Comments	Count
LVL 1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	HOTEL	2
MIDLAND TYPICAL (5.8M x 2.8M)	HOTEL	106
MIDLAND TYPICAL (5.8M x 2.8M)	RETAIL	7
MIDLAND ACCESSIBLE (5.8M x 3.4M)	VISITOR	1
MIDLAND TYPICAL (5.8M x 2.8M)	VISITOR	51
LVL 1: 167		167
LVL 2		
MIDLAND TYPICAL (5.8M x 2.8M)	CONDO	109
LVL 2: 109		109
LVL 3		
MIDLAND TYPICAL (5.8M x 2.8M)	CONDO	115
LVL 3: 115		115
P1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	CONDO	3
MIDLAND TYPICAL (5.8M x 2.8M)	CONDO	245
MIDLAND TYPICAL (5.8M x 2.8M)	VISITOR	111
P1: 359		359
		750

PARKING SCHEDULE BY TYPE

Type	Count
MIDLAND ACCESSIBLE (5.8M x 3.4M)	6
MIDLAND TYPICAL (5.8M x 2.8M)	744
	750

PARKING REQUIREMENTS:
- APARTMENT: 1.5 PER UNIT OF WHICH 25% SHALL BE FOR VISITOR PARKING
  - 416 UNITS
  - 416 x 1.5 = 624 PARKING SPACES (468 RESIDENTIAL, 156 VISITOR)
- HOTEL: 1.25 PER GUEST ROOM
  - 88 GUEST ROOMS
  - 88 x 1.25 = 110 PARKING SPACES
- RETAIL: 1 PER 90m² GFA
  - 106m² GFA
  - 1 x (106 / 90) = 2 PARKING SPACES
- TOTAL PARKING REQUIRED: 736
  - 6 ACCESSIBLE SPACES (INCLUSIVE)

PARKING SCHEDULE BY USE

Type	Count
CONDO	
MIDLAND ACCESSIBLE (5.8M x 3.4M)	3
MIDLAND TYPICAL (5.8M x 2.8M)	469
CONDO: 472	472
HOTEL	
MIDLAND ACCESSIBLE (5.8M x 3.4M)	2
MIDLAND TYPICAL (5.8M x 2.8M)	106
HOTEL: 108	108
RETAIL	
MIDLAND TYPICAL (5.8M x 2.8M)	7
RETAIL: 7	7
VISITOR	
MIDLAND ACCESSIBLE (5.8M x 3.4M)	1
MIDLAND TYPICAL (5.8M x 2.8M)	162
VISITOR: 163	163
	750

BIKE PARKING SCHEDULE

Type	Comments	Count
BIKE PARKING	LONG TERM	272
BIKE PARKING	SHORT TERM	32
		304

LOCKERS

Type	Count
LOCKER	212
	212

OVERALL UNIT MIX

Name	Area	Count	Count %
1BD	47 m² ... 122 m²	420	83%
1BD SMALL	47 m² ... 47 m²	2	0%
2BD	71 m² ... 111 m²	82	16%
		504	

OVERALL SELLABLE VS. NON-SELLABLE

Name	Department	Area	Area %
SELLABLE			
1BD	CONDO	19851 m²	50%
2BD	CONDO	6365 m²	16%
1BD	HOTEL	4353 m²	11%
1BD SMALL	HOTEL	93 m²	0%
2BD	HOTEL	1238 m²	3%
RETAIL 1	RETAIL	50 m²	0%
RETAIL 2	RETAIL	56 m²	0%
SELLABLE: 506		32007 m²	81%
NON SELLABLE			
BIKE STORAGE	CONDO	99 m²	0%
CHANGE ROOM	CONDO	53 m²	0%
CONDO LOBBY	CONDO	184 m²	0%
CORRIDOR	CONDO	1965 m²	5%
COVERED SEATING AREA	CONDO	154 m²	0%
ELEV	CONDO	420 m²	1%
EXERCISE ROOM	CONDO	230 m²	1%
LOCKERS	CONDO	106 m²	0%
MULTI-PURPOSE	CONDO	230 m²	1%
STAIRS	CONDO	735 m²	2%
CHANGE ROOM	HOTEL	62 m²	0%
CORRIDOR	HOTEL	525 m²	1%
HOTEL LOUNGE	HOTEL	101 m²	0%
HOTEL RECEPTION	HOTEL	237 m²	1%
LINEN	HOTEL	108 m²	0%
MOVING	HOTEL	34 m²	0%
MULTI-PURPOSE	HOTEL	115 m²	0%
POOL	HOTEL	169 m²	0%
STORAGE	HOTEL	36 m²	0%
UNIV. W/R	HOTEL	14 m²	0%
VENDING	HOTEL	135 m²	0%
VESTIBULE	HOTEL	41 m²	0%
CHUTE	SHARED	100 m²	0%
CORRIDOR	SHARED	245 m²	1%
ELEC	SHARED	93 m²	0%
ELEV	SHARED	140 m²	0%
GARBAGE	SHARED	265 m²	1%
LOCKERS	SHARED	151 m²	0%
MOVING	SHARED	26 m²	0%
STAIRS	SHARED	507 m²	1%
VESTIBULE	SHARED	86 m²	0%
NON SELLABLE: 188		7367 m²	19%
Grand total: 694		39374 m²	100%

GFA BY CATEGORY

Department	Area	Area (%)
CONDO	35296 m²	62%
HOTEL	15175 m²	27%
RETAIL	106 m²	0%
SHARED	6106 m²	11%
Grand total: 709	56683 m²	

GFA BY LEVEL

Level	Area	Area (%)
LVL 1	7049 m²	12%
LVL 2	6952 m²	12%
LVL 3	6952 m²	12%
LVL 4	6702 m²	12%
LVL 5	3233 m²	6%
LVL 6	3233 m²	6%
LVL 7	3233 m²	6%
LVL 8	3233 m²	6%
LVL 9	3233 m²	6%
LVL 10	3233 m²	6%
LVL 11	3233 m²	6%
LVL 12	3233 m²	6%
T/O ROOF DECK	3166 m²	6%
Grand total: 709	56683 m²	

GFA BY LEVEL WITHOUT ROOF

Level	Area	Area (%)
LVL 1	7049 m²	13%
LVL 2	6952 m²	13%
LVL 3	6952 m²	13%
LVL 4	6702 m²	13%
LVL 5	3233 m²	6%
LVL 6	3233 m²	6%
LVL 7	3233 m²	6%
LVL 8	3233 m²	6%
LVL 9	3233 m²	6%
LVL 10	3233 m²	6%
LVL 11	3233 m²	6%
LVL 12	3233 m²	6%
Grand total: 701	53517 m²	

CONDO UNIT MIX

Name	Area	Count	Count %
1BD	47 m² ... 68 m²	346	83%
2BD	71 m² ... 111 m²	70	17%
		416	

CONDO UNITS BY LEVEL

Name	Area	Count	Count %
LVL 4			
1BD	50 m² ... 68 m²	42	10%
2BD	93 m² ... 111 m²	6	1%
		48	
LVL 5			
1BD	47 m² ... 68 m²	38	9%
2BD	71 m² ... 111 m²	8	2%
		46	
LVL 6			
1BD	47 m² ... 68 m²	38	9%
2BD	71 m² ... 111 m²	8	2%
		46	
LVL 7			
1BD	47 m² ... 68 m²	38	9%
2BD	71 m² ... 111 m²	8	2%
		46	
LVL 8			
1BD	47 m² ... 68 m²	38	9%
2BD	71 m² ... 111 m²	8	2%
		46	
LVL 9			
1BD	47 m² ... 68 m²	38	9%
2BD	71 m² ... 111 m²	8	2%
		46	
LVL 10			
1BD	47 m² ... 68 m²	38	9%
2BD	71 m² ... 111 m²	8	2%
		46	
LVL 11			
1BD	47 m² ... 68 m²	38	9%
2BD	71 m² ... 111 m²	8	2%
		46	
LVL 12			
1BD	47 m² ... 68 m²	38	9%
2BD	71 m² ... 111 m²	8	2%
		46	
		416	

CONDO SELLABLE VS. NON-SELLABLE

Name	Department	Area	Area %
SELLABLE			
1BD	CONDO	19851 m²	62%
2BD	CONDO	6365 m²	20%
RETAIL 1	RETAIL	50 m²	0%
RETAIL 2	RETAIL	56 m²	0%
SELLABLE: 418		26322 m²	82%
NON SELLABLE			
BIKE STORAGE	CONDO	99 m²	0%
CHANGE ROOM	CONDO	53 m²	0%
CONDO LOBBY	CONDO	184 m²	1%
CORRIDOR	CONDO	1965 m²	6%
COVERED SEATING AREA	CONDO	154 m²	0%
ELEV	CONDO	420 m²	1%
EXERCISE ROOM	CONDO	230 m²	1%
LOCKERS	CONDO	106 m²	0%
MULTI-PURPOSE	CONDO	230 m²	1%
STAIRS	CONDO	735 m²	2%
CHUTE	SHARED	100 m²	0%
CORRIDOR	SHARED	245 m²	1%
ELEC	SHARED	93 m²	0%
ELEV	SHARED	140 m²	0%
GARBAGE	SHARED	265 m²	1%
LOCKERS	SHARED	151 m²	0%
MOVING	SHARED	26 m²	0%
STAIRS	SHARED	507 m²	2%
VESTIBULE	SHARED	86 m²	0%
NON SELLABLE: 169		5789 m²	18%
Grand total: 587		32111 m²	100%

HOTEL UNIT MIX

Name	Area	Count	Count %
1BD	50 m² ... 122 m²	74	84%
1BD SMALL	47 m² ... 47 m²	2	2%
2BD	93 m² ... 111 m²	12	14%
		88	

HOTEL UNITS BY LEVEL

Name	Area	Count	Count %
LVL 1			
1BD	50 m² ... 63 m²	16	18%
1BD SMALL	47 m² ... 47 m²	2	2%
		18	
LVL 2			
1BD	50 m² ... 122 m²	29	33%
2BD	93 m² ... 111 m²	6	7%
		35	
LVL 3			
1BD	50 m² ... 122 m²	29	33%
2BD	93 m² ... 111 m²	6	7%
		35	
		88	

HOTEL SELLABLE VS. NON-SELLABLE

Name	Department	Area	Area %
SELLABLE			
1BD	HOTEL	4353 m²	48%
1BD SMALL	HOTEL	93 m²	1%
2BD	HOTEL	1238 m²	14%
RETAIL 1	RETAIL	50 m²	1%
RETAIL 2	RETAIL	56 m²	1%
SELLABLE: 90		5791 m²	64%
NON SELLABLE			
CHANGE ROOM	HOTEL	62 m²	1%
CORRIDOR	HOTEL	525 m²	6%
HOTEL LOUNGE	HOTEL	101 m²	1%
HOTEL RECEPTION	HOTEL	237 m²	3%
LINEN	HOTEL	108 m²	1%
MOVING	HOTEL	34 m²	0%
MULTI-PURPOSE	HOTEL	115 m²	1%
POOL	HOTEL	169 m²	2%
STORAGE	HOTEL	36 m²	0%
UNIV. W/R	HOTEL	14 m²	0%
VENDING	HOTEL	135 m²	2%
VESTIBULE	HOTEL	41 m²	0%
CHUTE	SHARED	100 m²	1%
CORRIDOR	SHARED	245 m²	3%
ELEC	SHARED	93 m²	1%
ELEV	SHARED	140 m²	2%
GARBAGE	SHARED	265 m²	3%
LOCKERS	SHARED	151 m²	2%
MOVING	SHARED	26 m²	0%
STAIRS	SHARED	507 m²	6%
VESTIBULE	SHARED	86 m²	1%
NON SELLABLE: 107		3190 m²	36%
Grand total: 197		8981 m²	100%

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Chamberlain

Architects
Constructors
Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario. L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

SEAL

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

PROJECT STATISTICS

START DATE: AUGUST 2024

DRAWN BY: HK

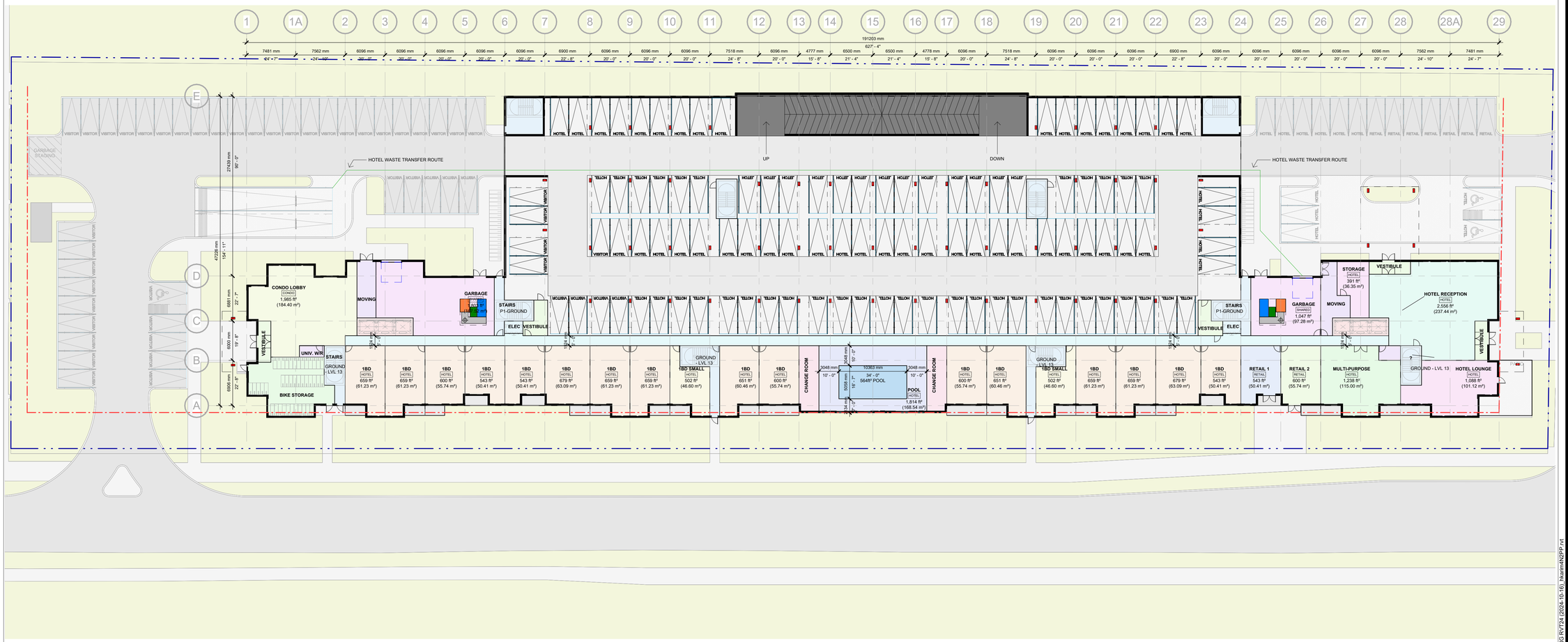
CHECKED BY: JM

SCALE

PROJECT NO.: 124043

DRAWING

A003



PARKING REQUIREMENTS:

- APARTMENT: 1.5 PER UNIT OF WHICH 25% SHALL BE FOR VISITOR PARKING
  - 414 UNITS
  - 414 x 1.5 = 621 PARKING SPACES (465 RESIDENTIAL, 156 VISITOR)
- HOTEL: 1.25 PER GUEST ROOM
  - 86 GUEST ROOMS
  - 86 x 1.25 = 108 PARKING SPACES
- RETAIL: 5 PER 90m² GFA
  - 111m² GFA
  - 5 x (111 / 90) = 7 PARKING SPACES
- TOTAL PARKING REQUIRED: 736
  - 6 ACCESSIBLE SPACES (INCLUSIVE)

OPTION 2

PARKING SCHEDULE BY LEVEL		
Type	Count	
LVL 1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	3	
MIDLAND TYPICAL (5.8M x 2.8M)	~~184~~ 124	
LVL 1: 167	~~187~~ 127	(173 SKETCHED)
LVL 2		
MIDLAND TYPICAL (5.8M x 2.8M)	~~189~~ 124	
LVL 2: 109	~~184~~ 65	(108 SKETCHED)
LVL 3		
MIDLAND TYPICAL (5.8M x 2.8M)	115	
LVL 3: 115	115	(114 SKETCHED)
P1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	3	
MIDLAND TYPICAL (5.8M x 2.8M)	356	
P1: 359	359	(361 SKETCHED)
	~~750~~ 652	(756 SKETCHED)

Chamberlain Architects Constructors Managers

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NO.	ISSUED	DATE
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

SEAL

CONSTRUCTION NORTH

TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

GROUND FLOOR PLAN

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	JM
SCALE	1 : 300
PROJECT NO.	124043
DRAWING	A101B

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PARKING REQUIREMENTS:
- APARTMENT: 1.5 PER UNIT OF WHICH 25% SHALL BE FOR VISITOR PARKING
  - 414 UNITS
  - 414 x 1.5 = 621 PARKING SPACES (465 RESIDENTIAL, 156 VISITOR)
- HOTEL: 1.25 PER GUEST ROOM
  - 86 GUEST ROOMS
  - 86 x 1.25 = 108 PARKING SPACES
- RETAIL: 5 PER 90m² GFA
  - 111m² GFA
  - 5 x (111 / 90) = 7 PARKING SPACES
- TOTAL PARKING REQUIRED: 736
  - 6 ACCESSIBLE SPACES (INCLUSIVE)

OPTION 1

PARKING SCHEDULE BY LEVEL		
Type	Count	
LVL 1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	3	
MIDLAND TYPICAL (5.8M x 2.8M)	164	
LVL 1: 167	167	(173 SKETCHED)
LVL 2		
MIDLAND TYPICAL (5.8M x 2.8M)	109	
LVL 2: 109	109	(108 SKETCHED)
LVL 3		
MIDLAND TYPICAL (5.8M x 2.8M)	115	
LVL 3: 115	115	(114 SKETCHED)
P1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	3	
MIDLAND TYPICAL (5.8M x 2.8M)	356	
P1: 359	359	(361 SKETCHED)
	750	(756 SKETCHED)

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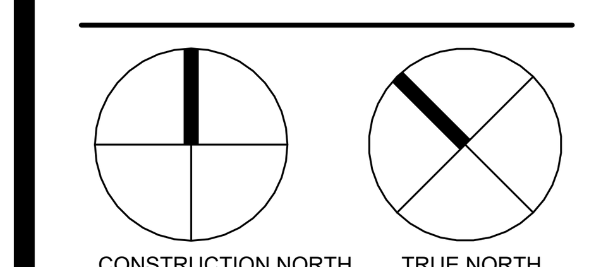
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

SEAL



BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

SECOND FLOOR PLAN

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	JM
SCALE	1 : 300
PROJECT NO.	124043
DRAWING	A102

PARKING REQUIREMENTS:

- APARTMENT: 1.5 PER UNIT OF WHICH 25% SHALL BE FOR VISITOR PARKING
  - 414 UNITS
  - 414 x 1.5 = 621 PARKING SPACES (465 RESIDENTIAL, 156 VISITOR)
- HOTEL: 1.25 PER GUEST ROOM
  - 86 GUEST ROOMS
  - 86 x 1.25 = 108 PARKING SPACES
- RETAIL: 5 PER 90m² GFA
  - 111m² GFA
  - 5 x (111 / 90) = 7 PARKING SPACES
- TOTAL PARKING REQUIRED: 736
  - 6 ACCESSIBLE SPACES (INCLUSIVE)

OPTION 1

PARKING SCHEDULE BY LEVEL		
Type	Count	
LVL 1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	3	
MIDLAND TYPICAL (5.8M x 2.8M)	164	
LVL 1: 167	167	(173 SKETCHED)
LVL 2		
MIDLAND TYPICAL (5.8M x 2.8M)	109	
LVL 2: 109	109	(108 SKETCHED)
LVL 3		
MIDLAND TYPICAL (5.8M x 2.8M)	115	
LVL 3: 115	115	(114 SKETCHED)
P1		
MIDLAND ACCESSIBLE (5.8M x 3.4M)	3	
MIDLAND TYPICAL (5.8M x 2.8M)	356	
P1: 359	359	(361 SKETCHED)
	750	(756 SKETCHED)

Chamberlain Architects Constructors Managers

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NO.	ISSUED	DATE
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

SEAL

CONSTRUCTION NORTH TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

THIRD FLOOR PLAN

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	JM
SCALE	1 : 300
PROJECT NO.	124043
DRAWING	A103

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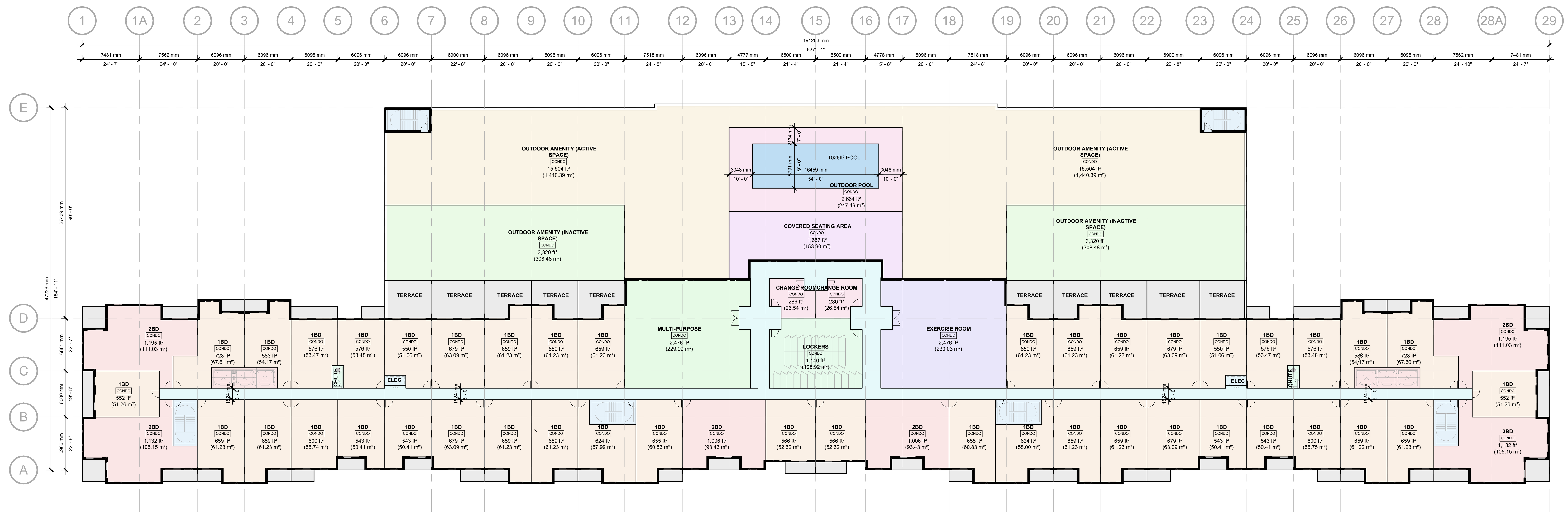

FOURTH FLOOR OPTION 2: ALTERNATE AMENITY DESIGN

Chamberlain Architects Constructors Managers

Chamberlain Architect Services Limited

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NO.	ISSUED	DATE
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP.

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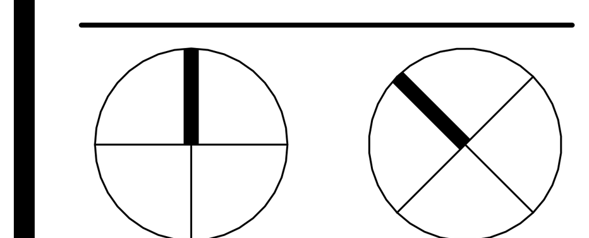

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

FOURTH FLOOR PLAN

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	JM
SCALE	1 : 300
PROJECT NO.	124043
DRAWING	A104B

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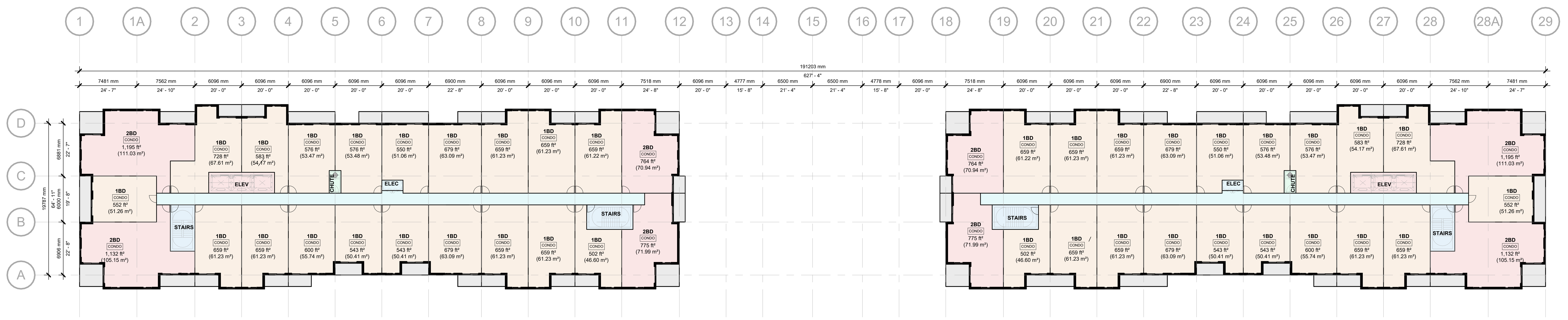

Chamberlain
Architects
Constructors
Managers

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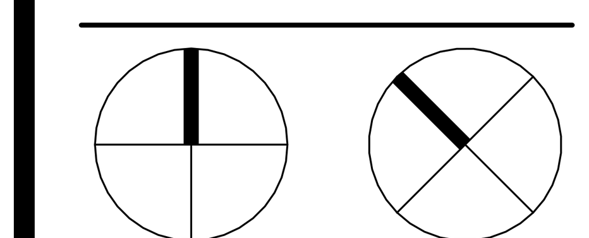
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

SEAL



BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

FIFTH FLOOR PLAN (TYPICAL 5-13)

START DATE: AUGUST 2024

DRAWN BY: HK

CHECKED BY: JM

SCALE: 1 : 300

PROJECT NO.: 124043

DRAWING

A105

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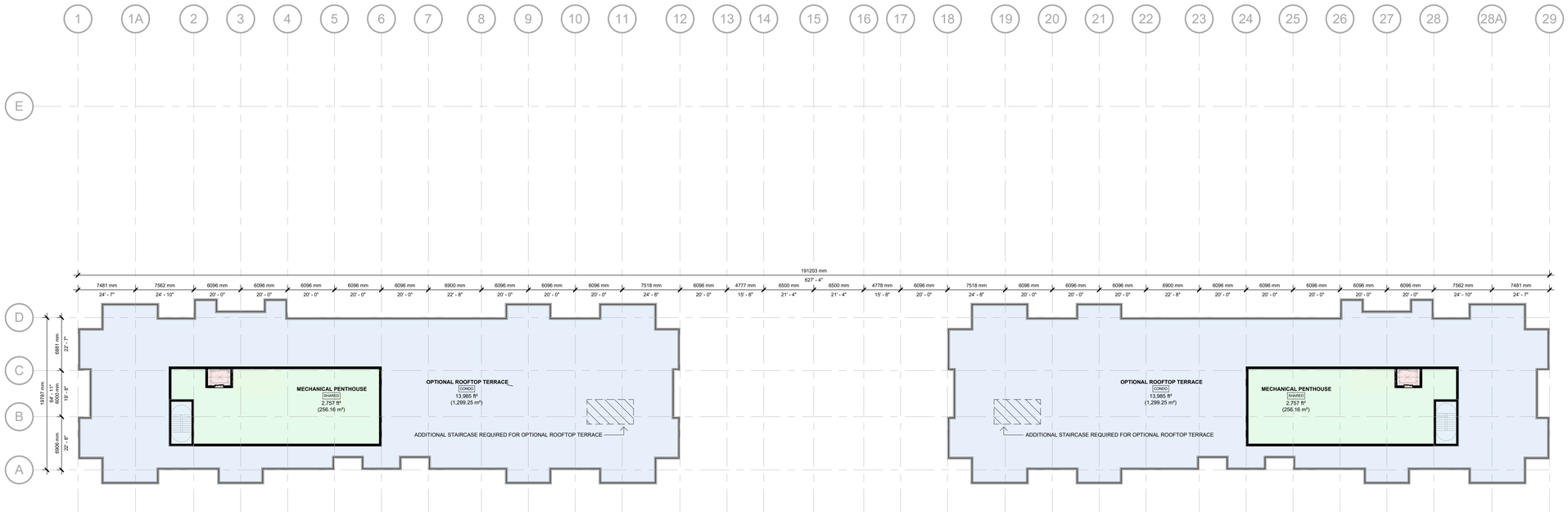

Chamberlain Architects Constructors Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario. L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

SEAL

CONSTRUCTION NORTH

TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

ROOF PLAN

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	JM
SCALE	1 : 300
PROJECT NO.	124043
DRAWING	A106

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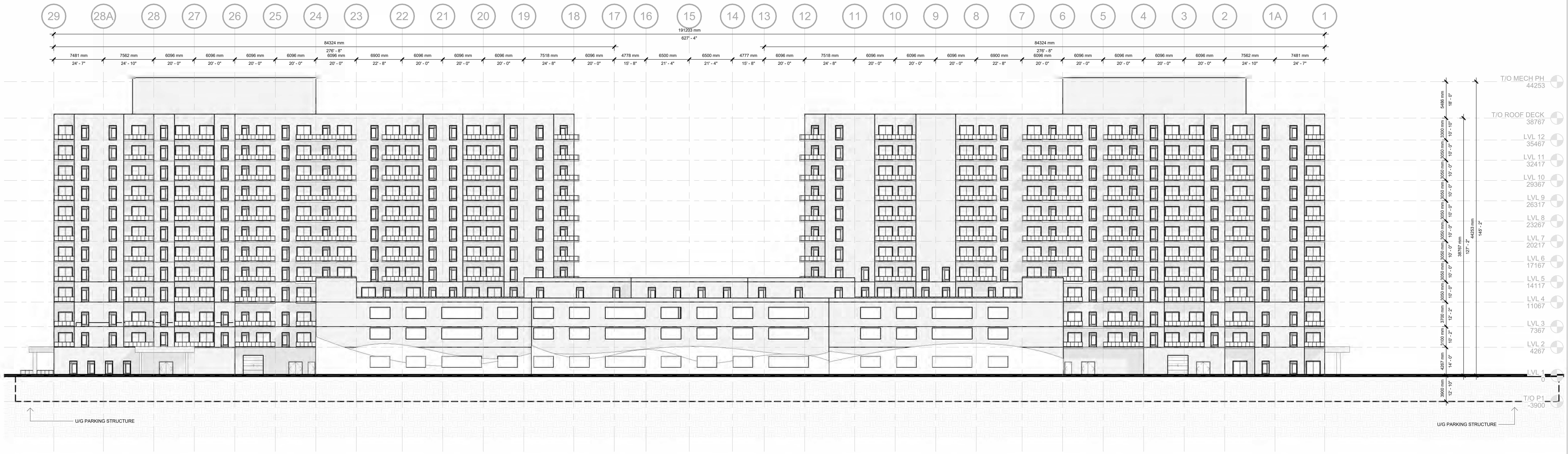
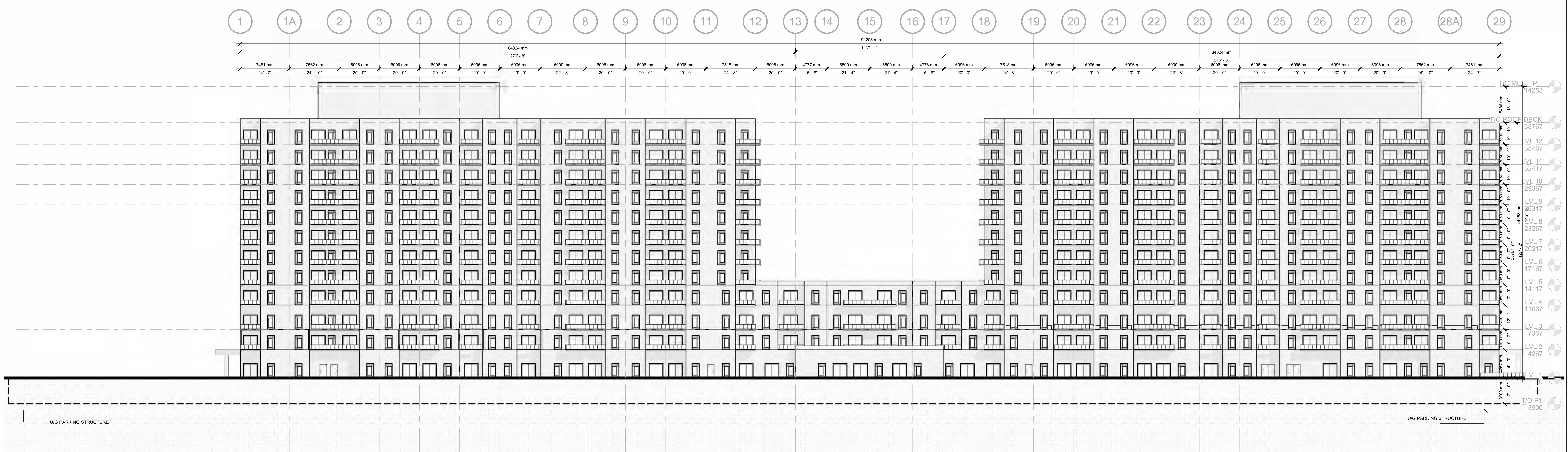


1 A201 NORTH ELEVATION
1 : 300



2 A201 SOUTH ELEVATION
1 : 300

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Burlington, Ontario. L7M 0W9
CANADA

Phone: 905.631.7777

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NO.	ISSUED	DATE
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

SEAL

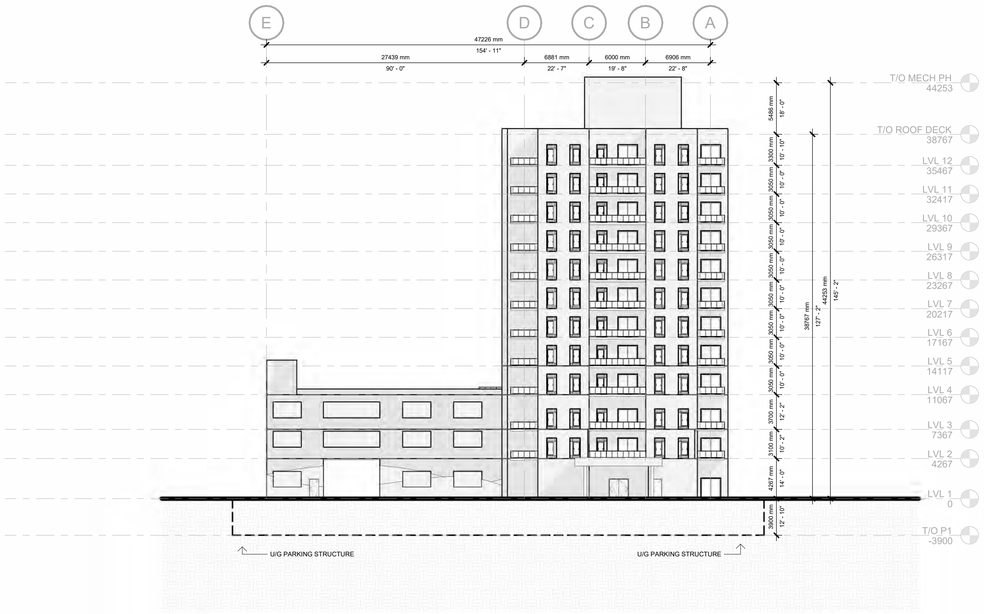
BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

EXTERIOR ELEVATION I

START DATE: AUGUST 2024
DRAWN BY: HK
CHECKED BY: JM
SCALE: 1 : 300
PROJECT NO.: 124043
DRAWING: A201



2 WEST ELEVATION
A202 1 : 300

1 EAST ELEVATION
A202 1 : 300

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10/28/2024 9:02:55 AM

Chamberlain
Architects
Constructors
Managers

**Chamberlain Architect
Services Limited**

4671 Palladium Way (Unit 1)
Burlington, Ontario. L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE
	CLIENT REVIEW	2024.08.30
	CLIENT REVIEW	2024.10.18

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP.

SEAL

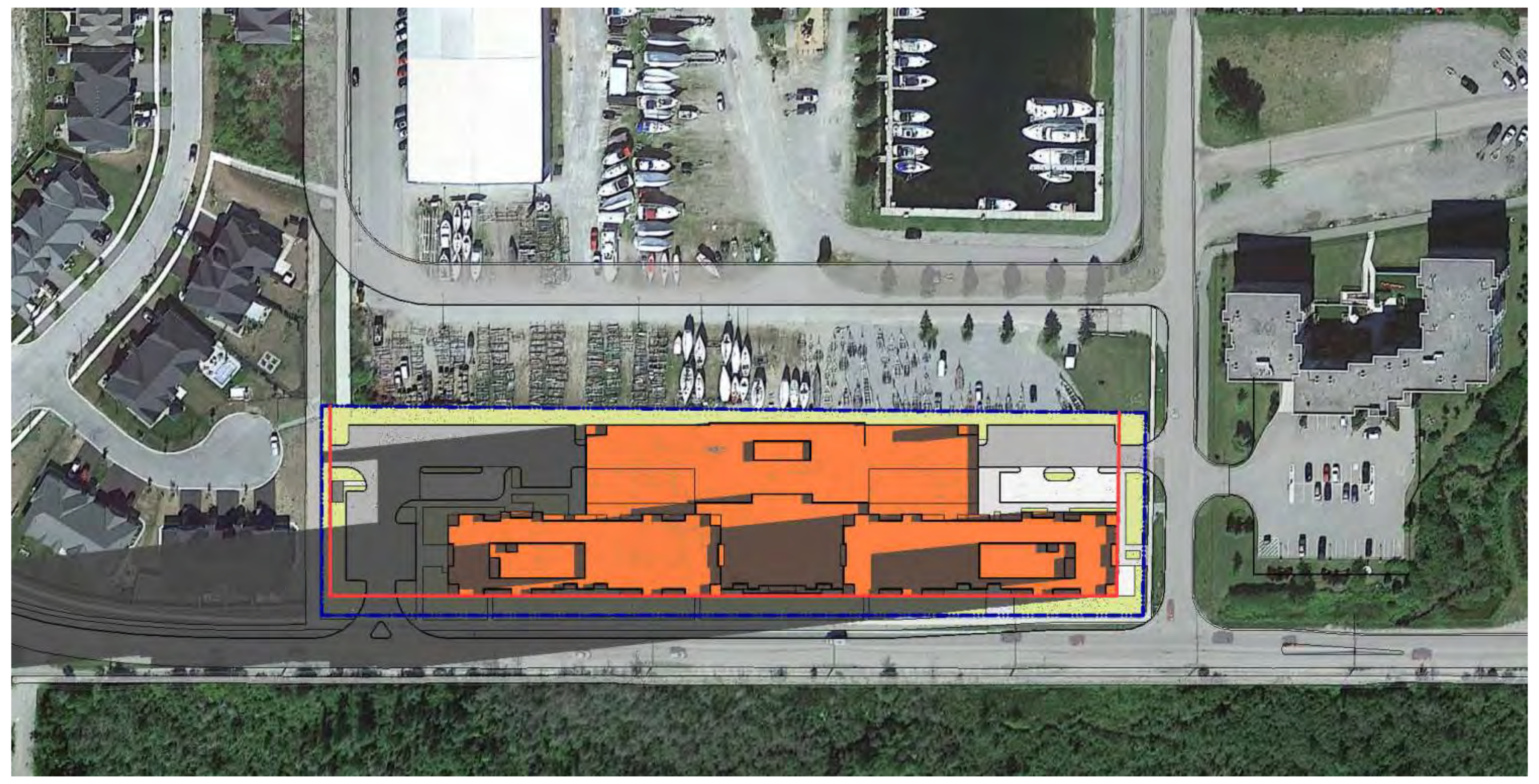
BAYPORT TOWER

1191 HARBOURVIEW
DRIVE
MIDLAND, ON

SHEET NAME

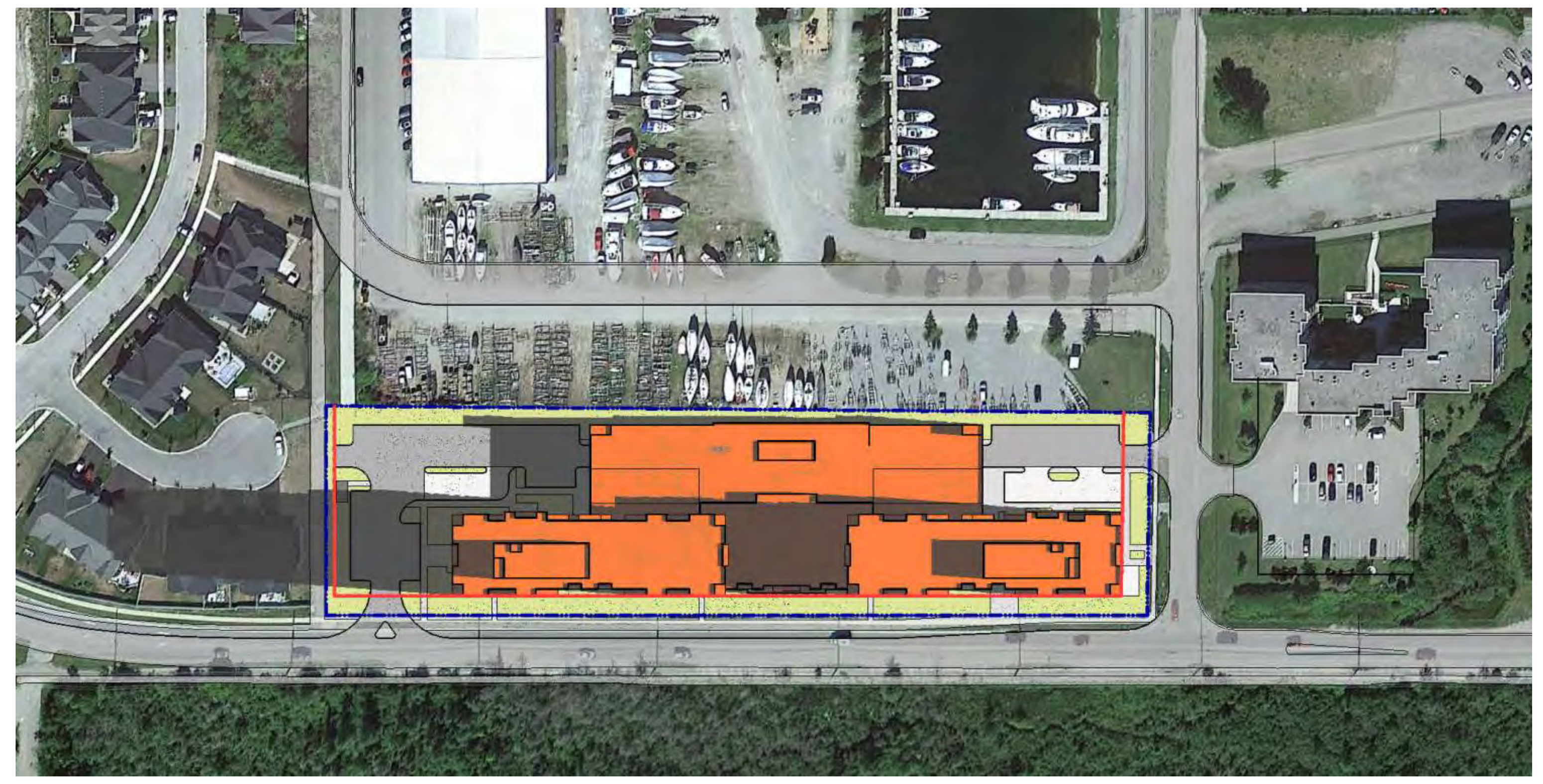
EXTERIOR ELEVATION II

START DATE AUGUST 2024
DRAWN BY HK
CHECKED BY JM
SCALE 1 : 300
PROJECT NO. 124043
DRAWING A202



001 - Apr 21 - 06_00 AM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



002 - Apr 21 - 07_00 AM

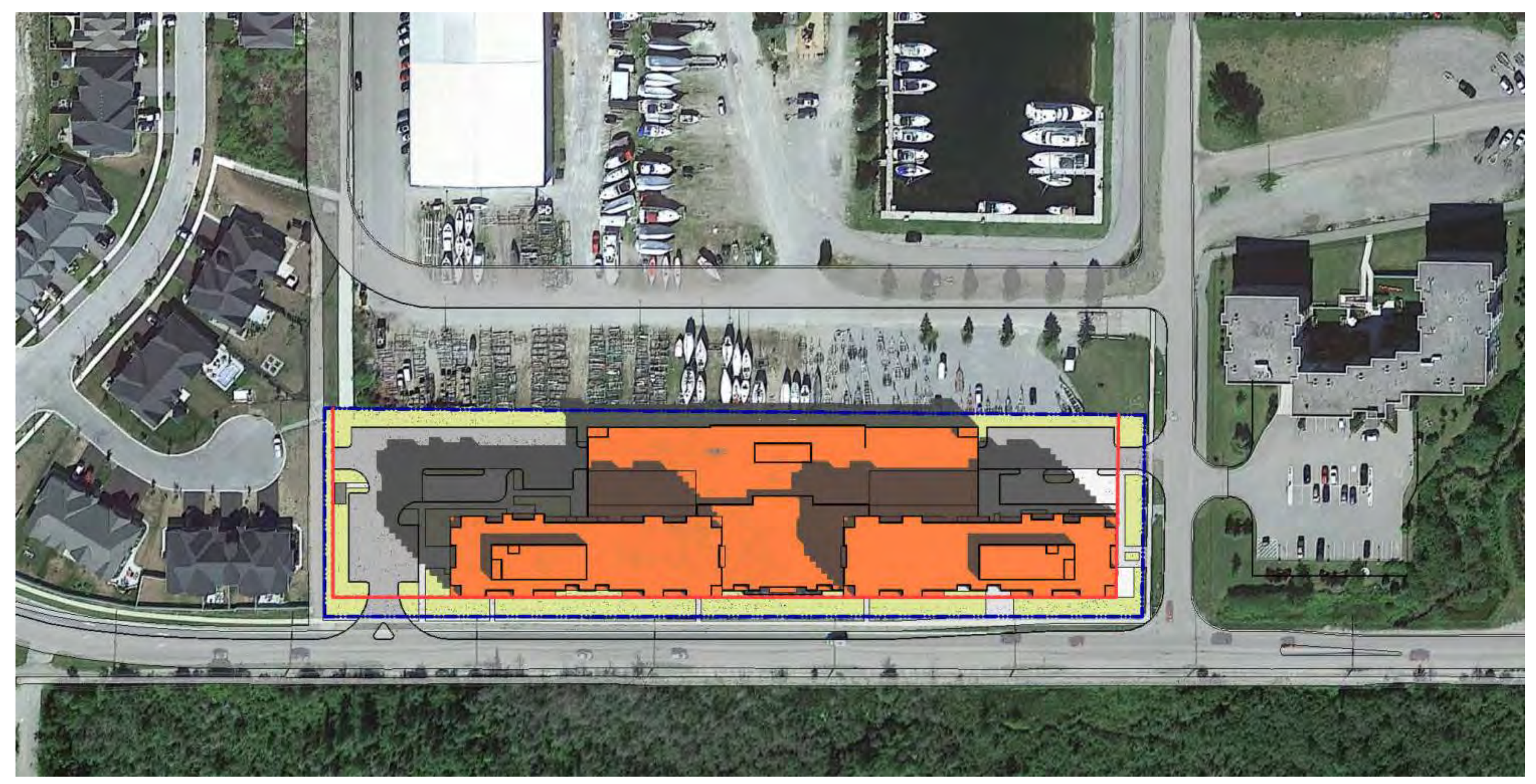
SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE

003 - Apr 21 - 08_00 AM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE

004 - Apr 21 - 09_00 AM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES

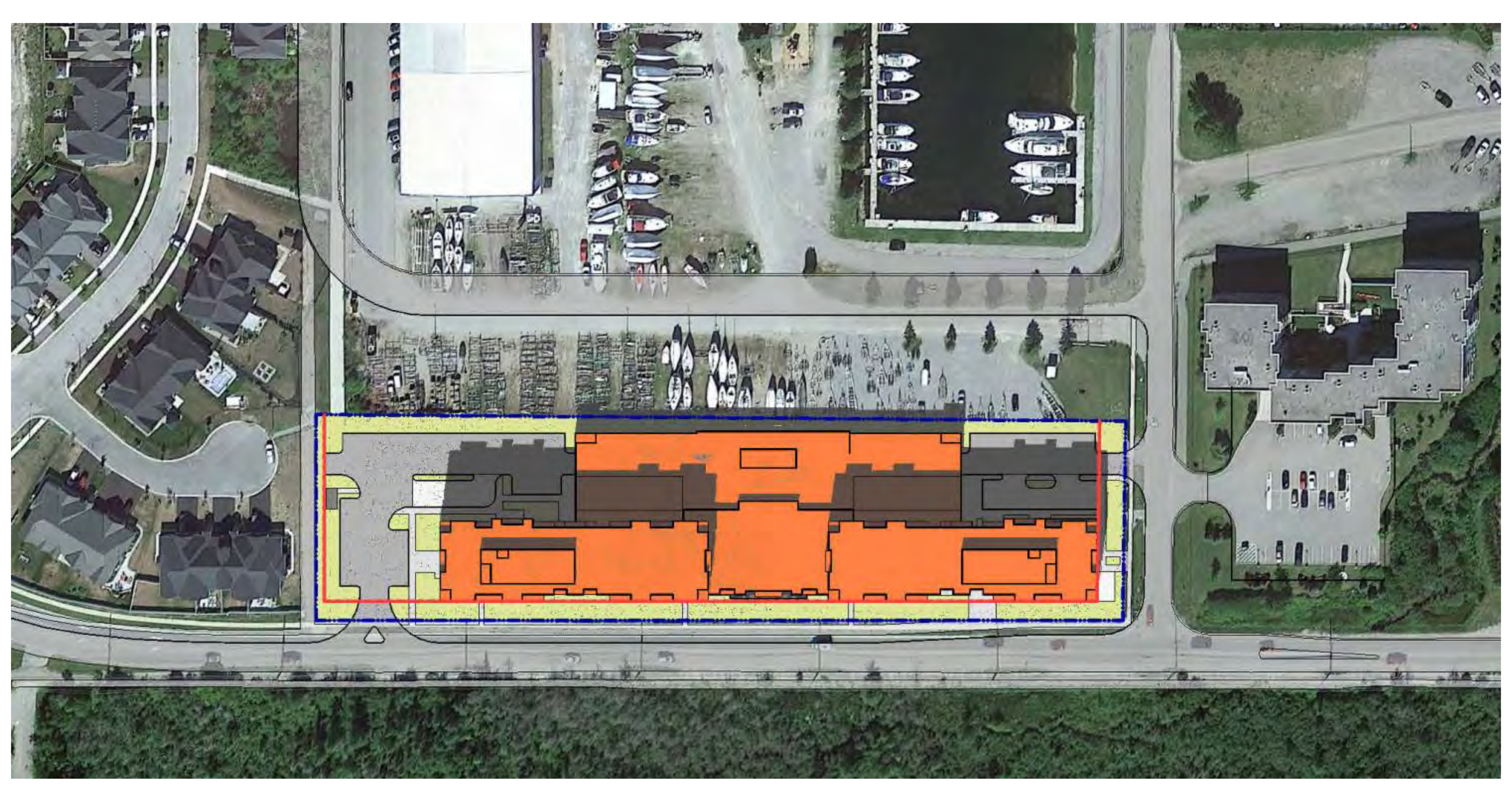


005 - Apr 21 - 10_00 AM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES

006 - Apr 21 - 11_00 AM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES



007 - Apr 21 - 12_00 PM

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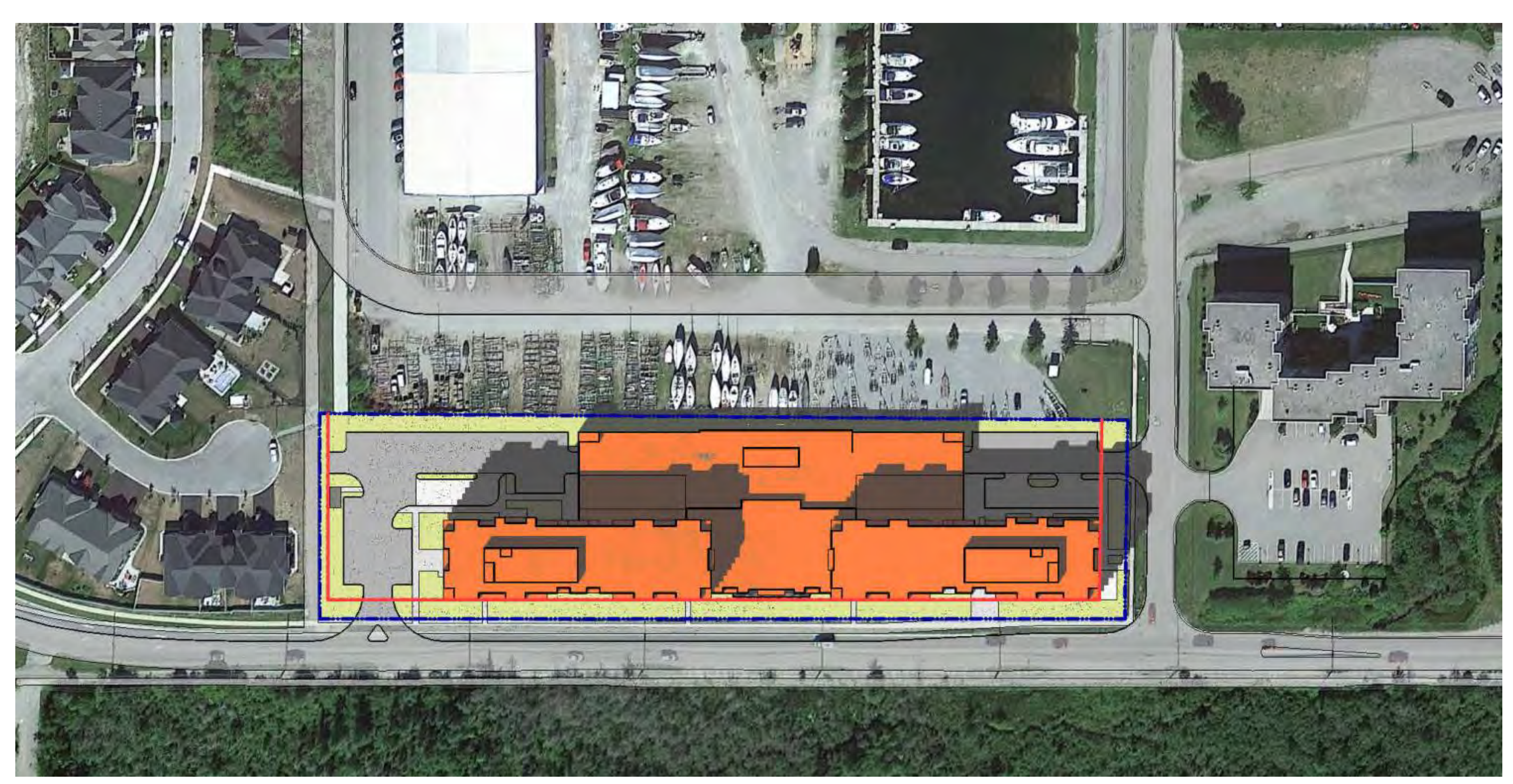

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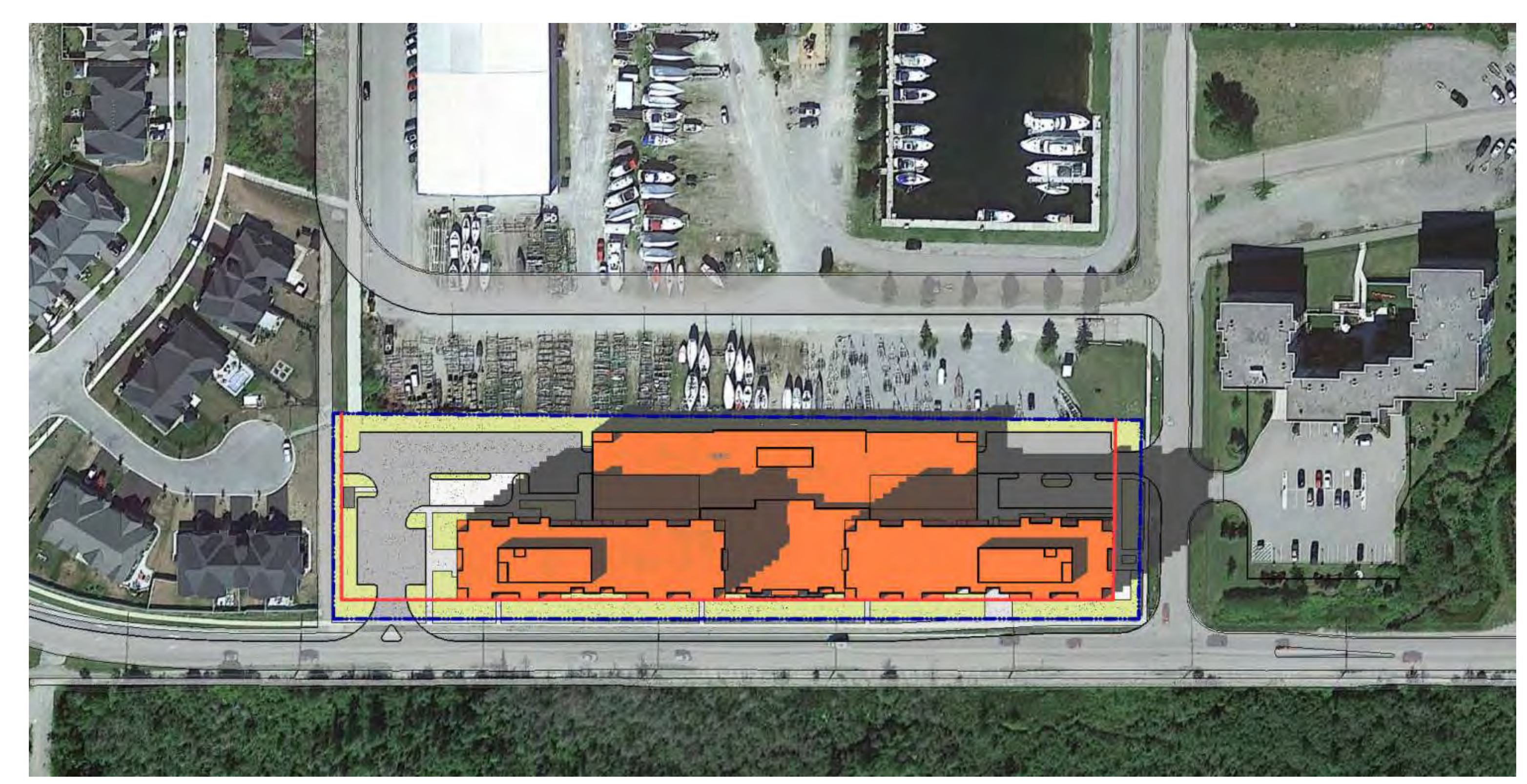


009 - Apr 21 - 02_00 PM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES

Chamberlain
Architects
Constructors
Managers

Chamberlain Architect Services Limited

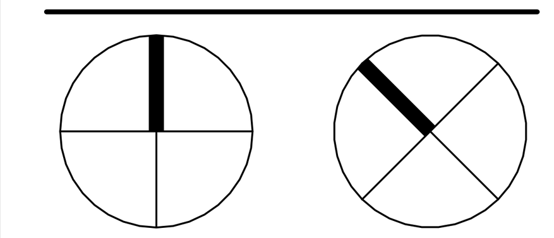
4671 Palladium Way (Unit 1)
Burlington, Ontario, L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE

SEAL



CONSTRUCTION NORTH TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

SHADOW STUDY - APRIL 21

START DATE: AUGUST 2024

DRAWN BY: HK

CHECKED BY: CMC

SCALE:

PROJECT NO.: 124043

DRAWING

A201

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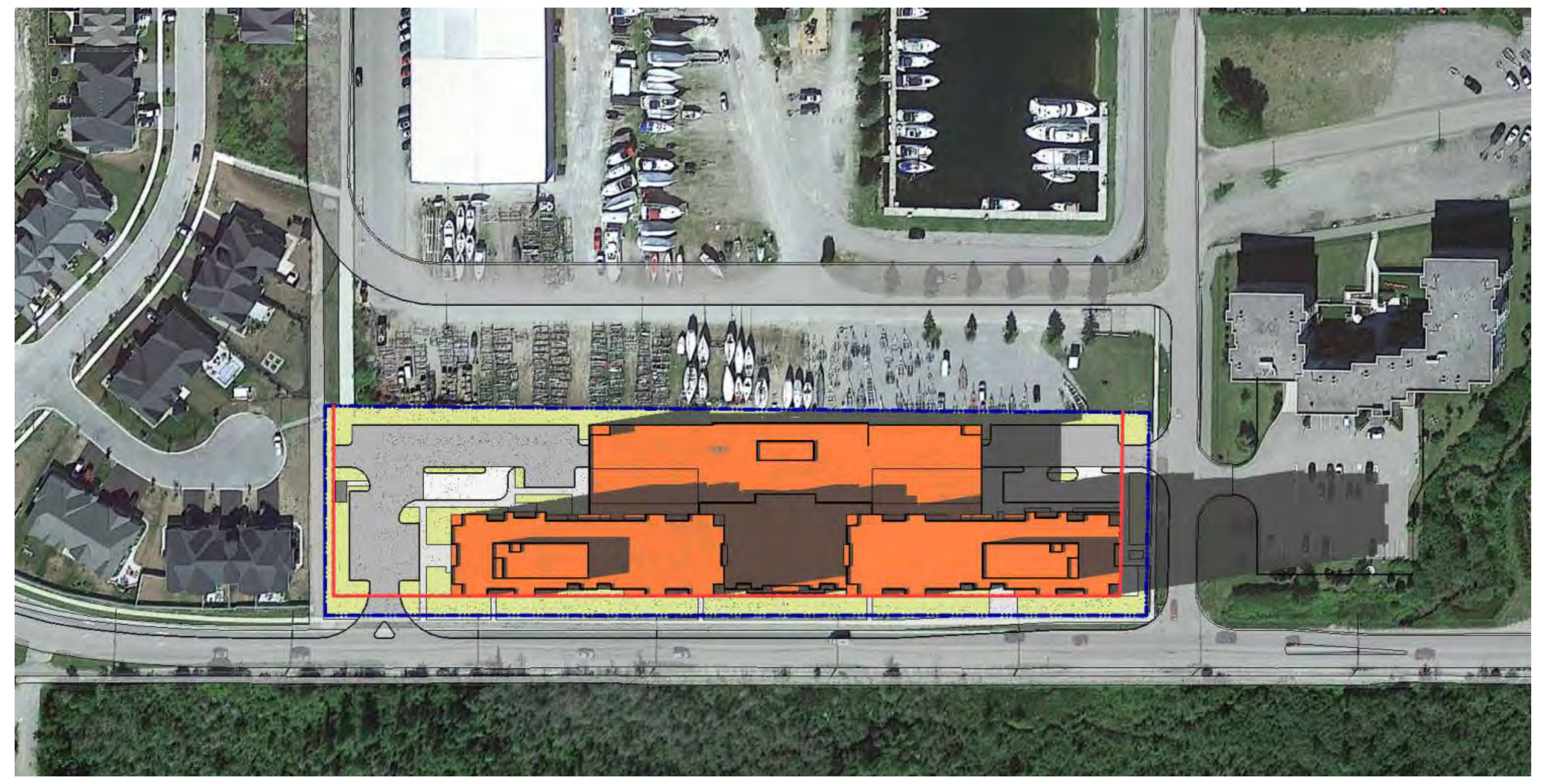
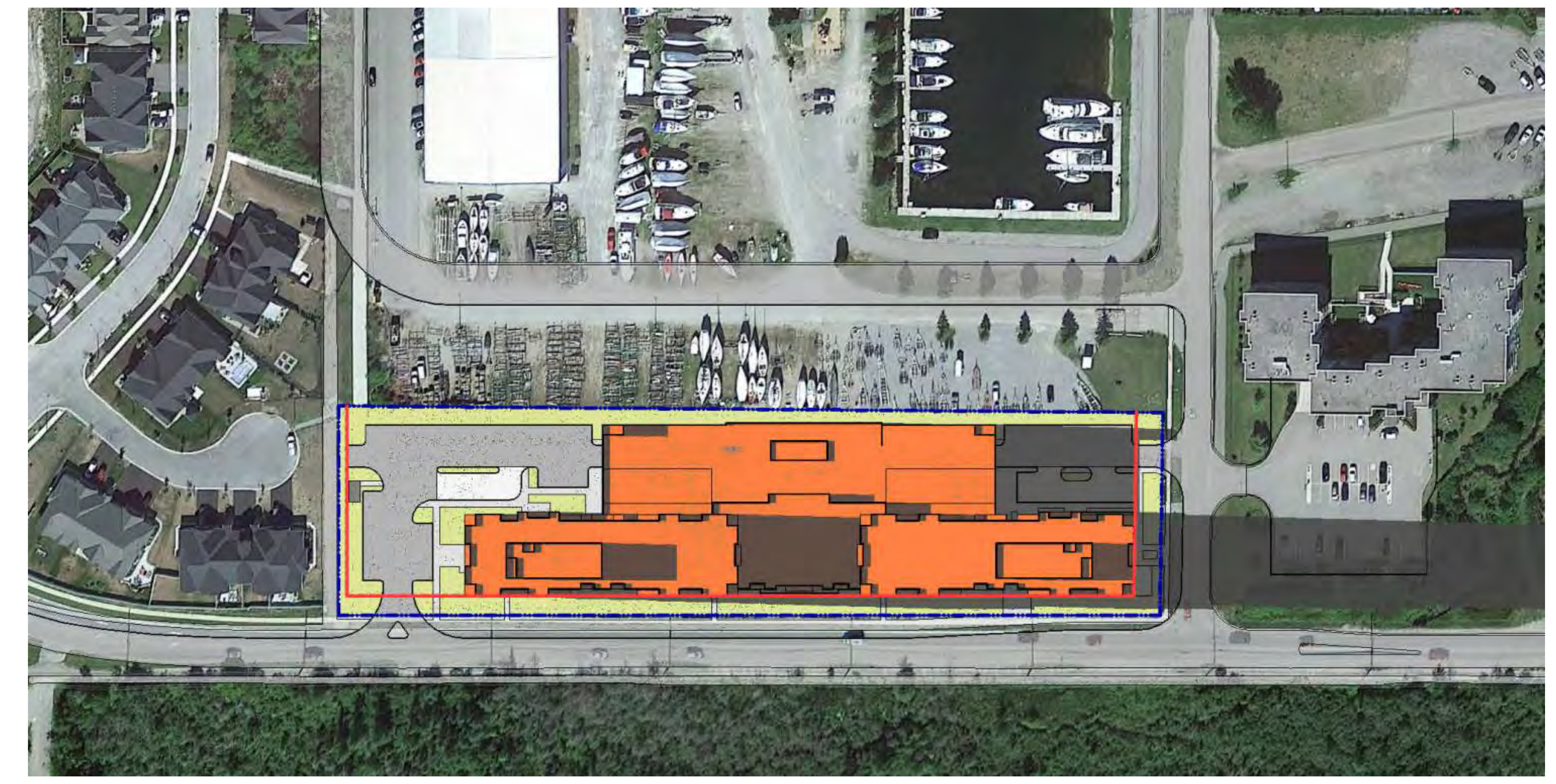
010 - Apr 21 - 03_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



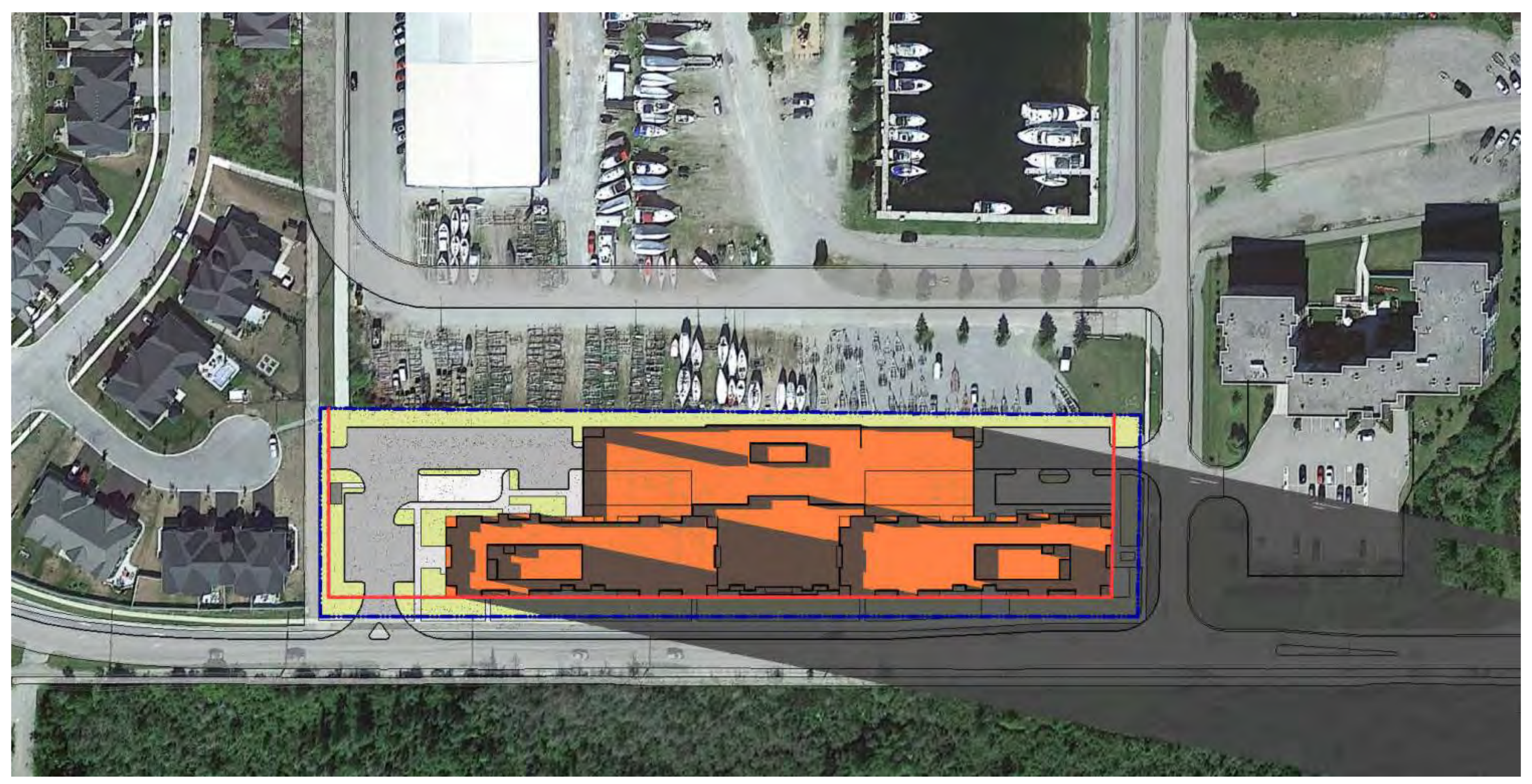
011 - Apr 21 - 04_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



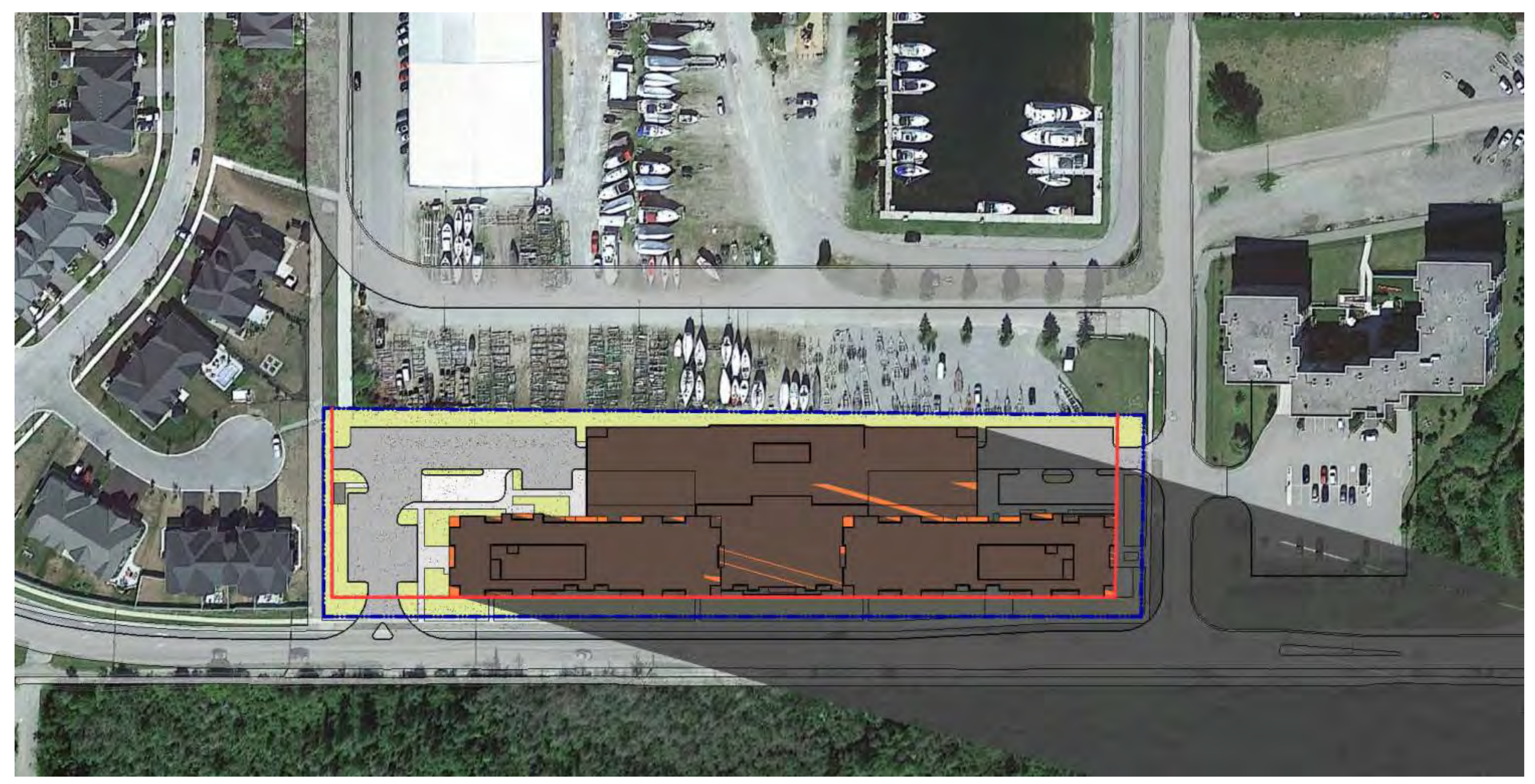
012 - Apr 21 - 05_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



013 - Apr 21 - 06_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND WILDERNESS



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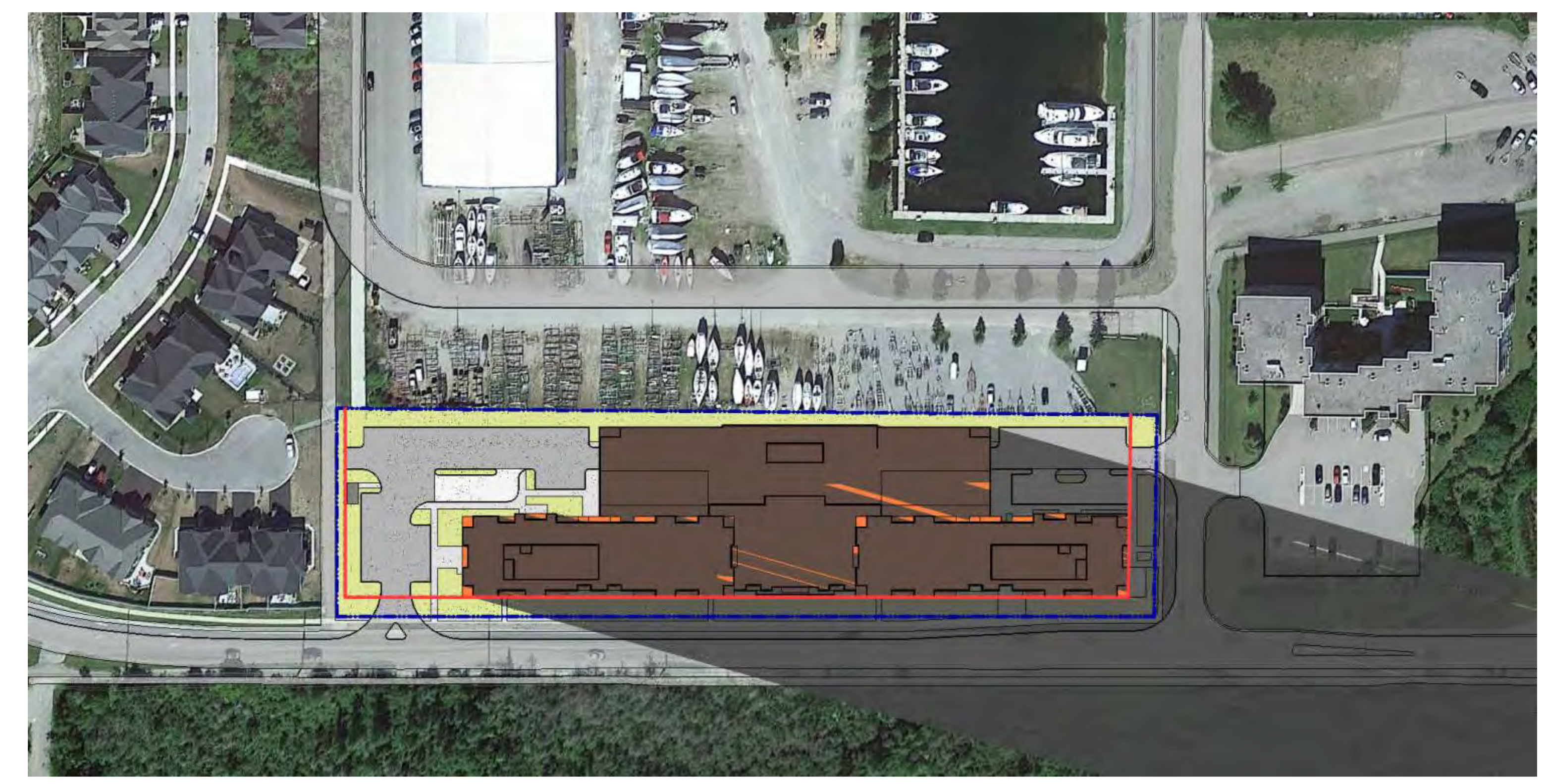

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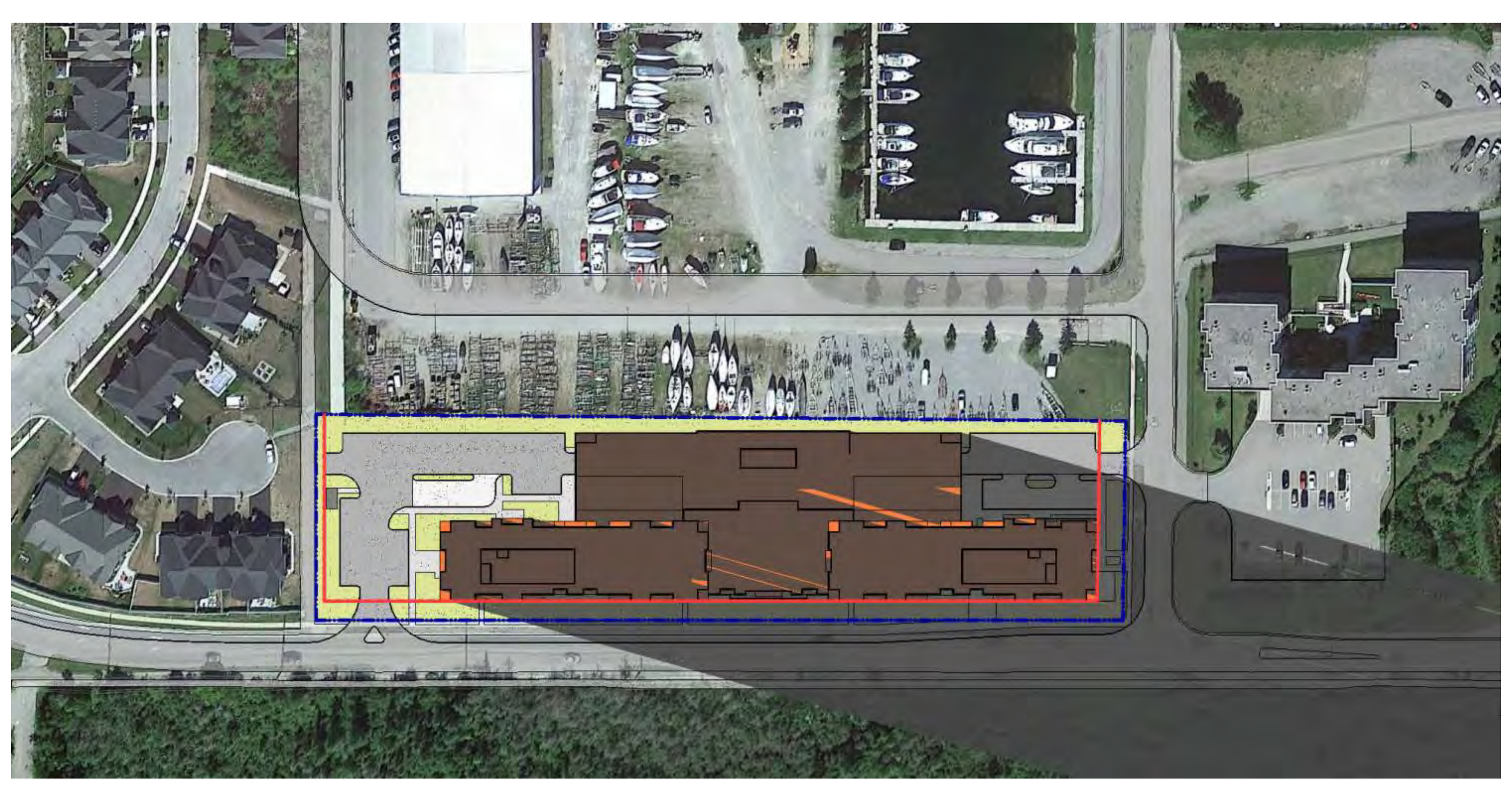


016 - Apr 21 - 09_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND WILDERNESS

Chamberlain Architects Constructors Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario, L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE

SEAL

CONSTRUCTION NORTH TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

SHADOW STUDY - APRIL 21

START DATE AUGUST 2024

DRAWN BY HK

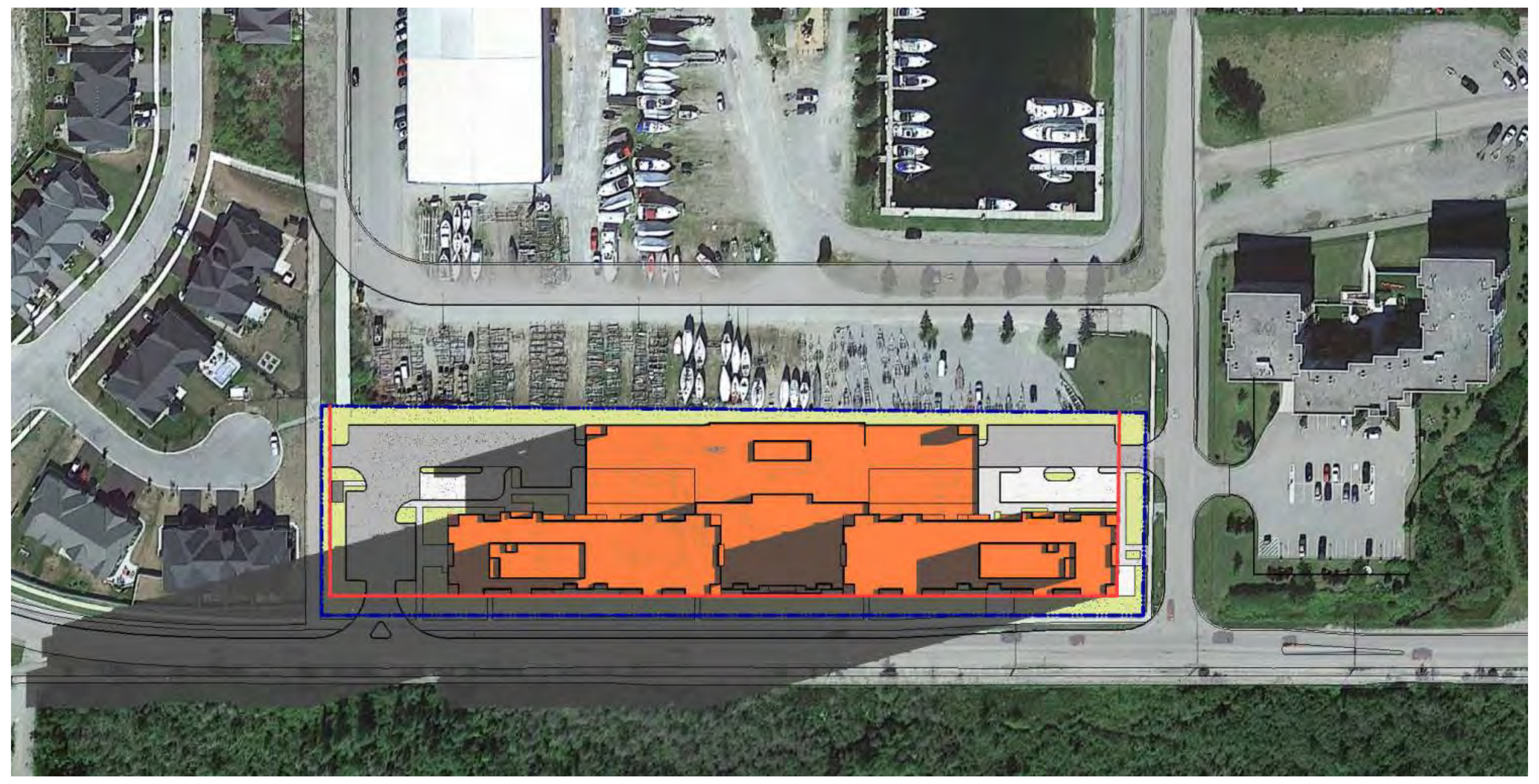
CHECKED BY CMC

SCALE

PROJECT NO. 124043

DRAWING

A202



001 - Jun 21 - 06_00 AM

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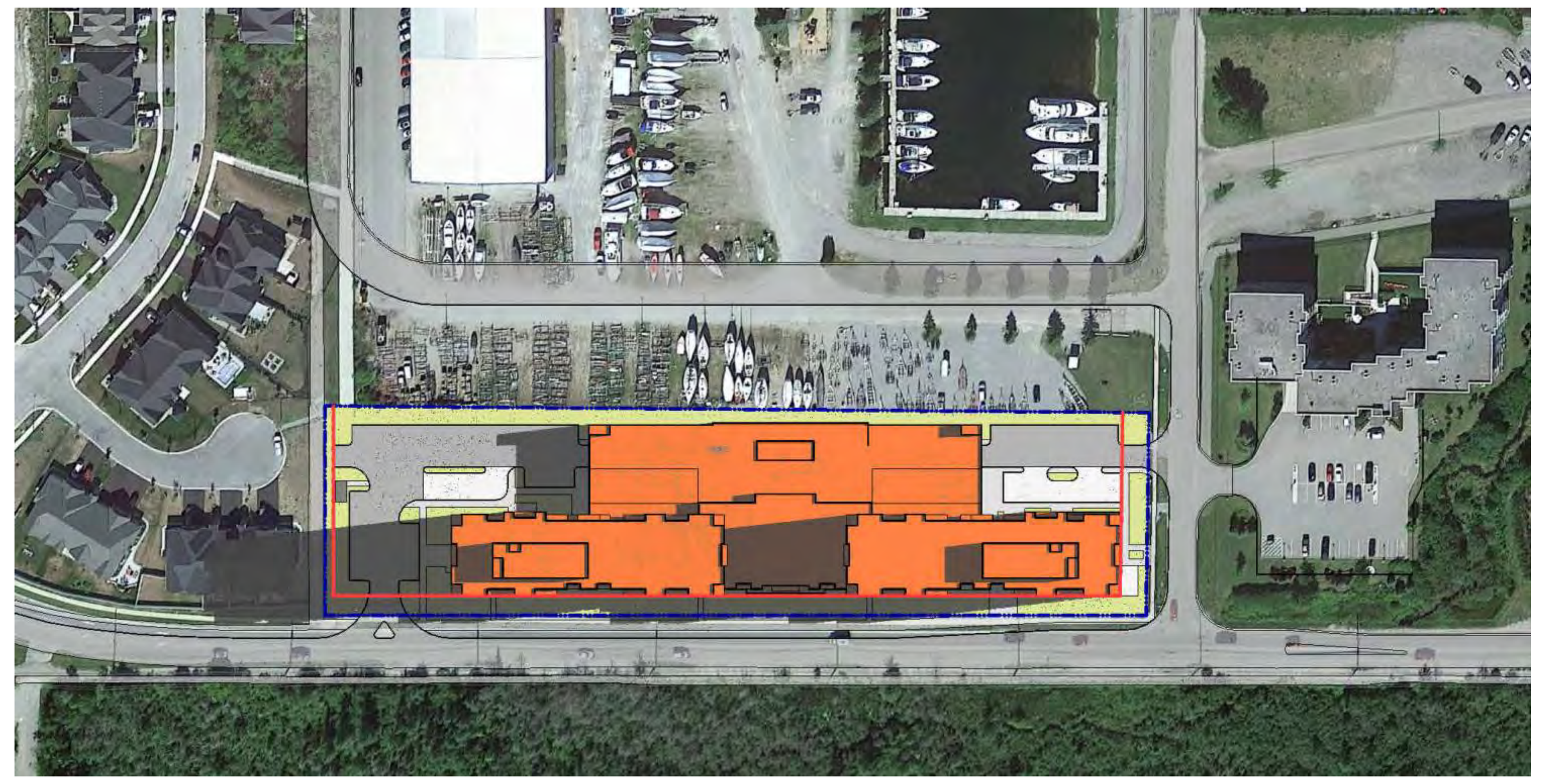

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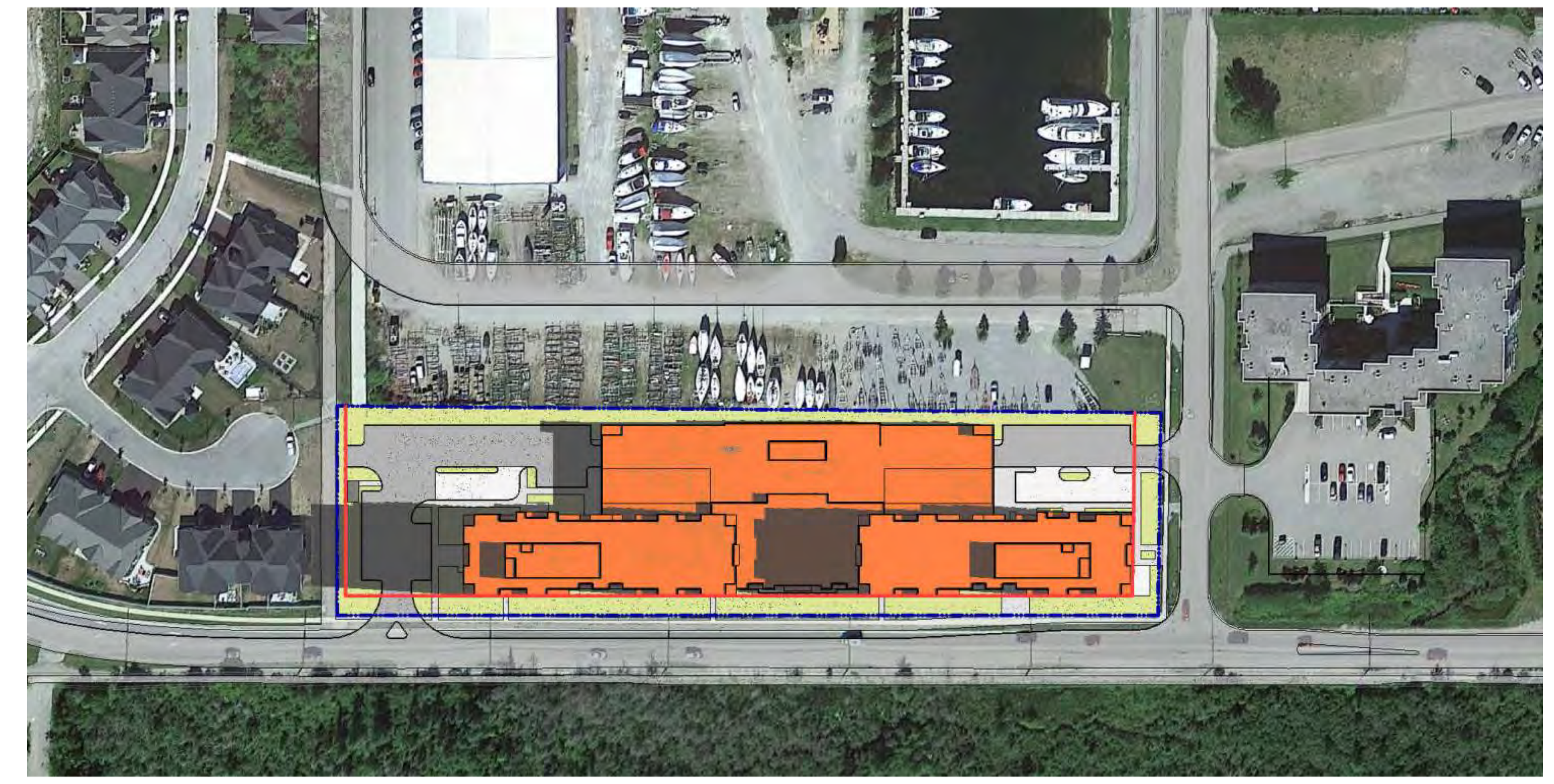

003 - Jun 21 - 08_00 AM

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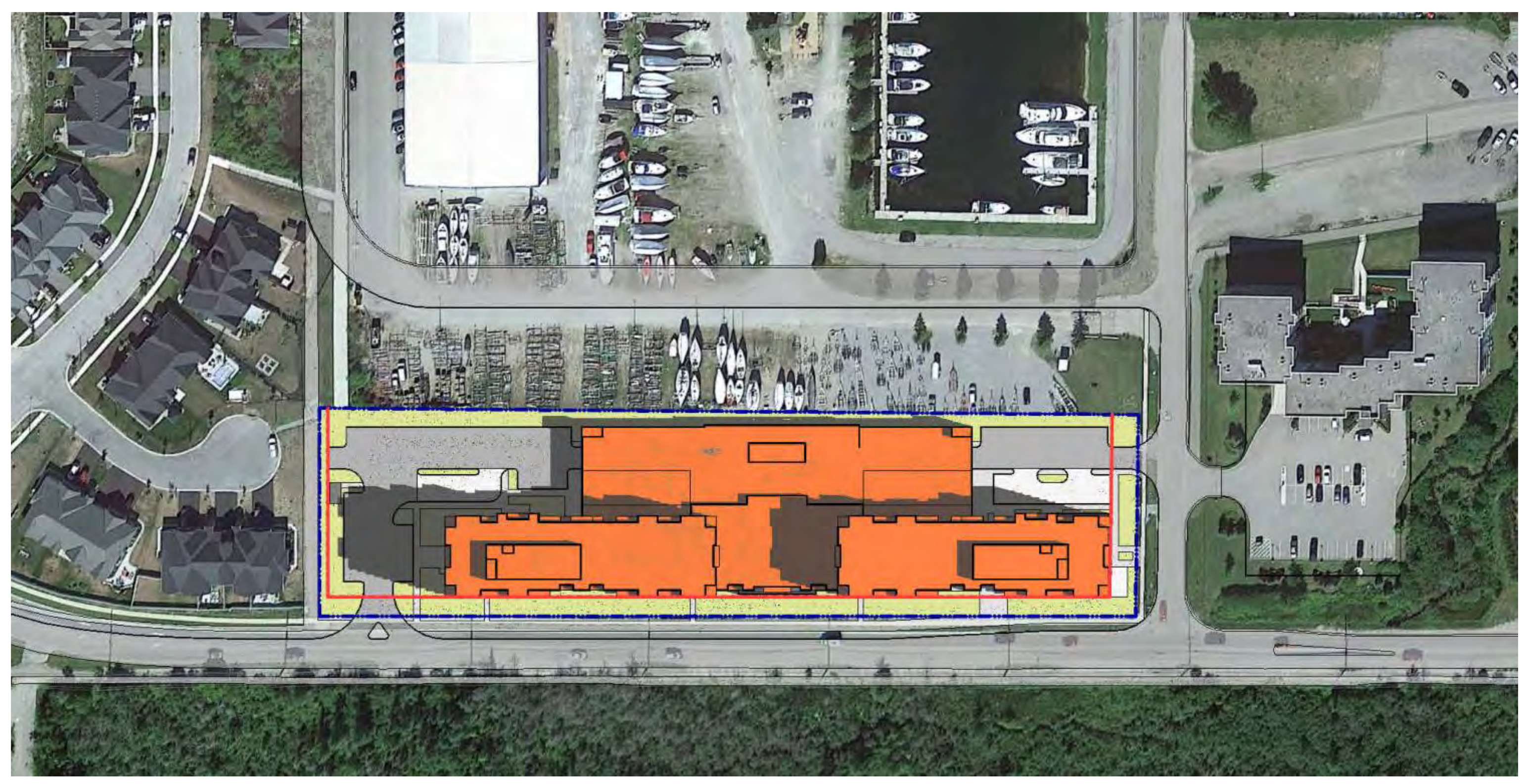

004 - Jun 21 - 09_00 AM

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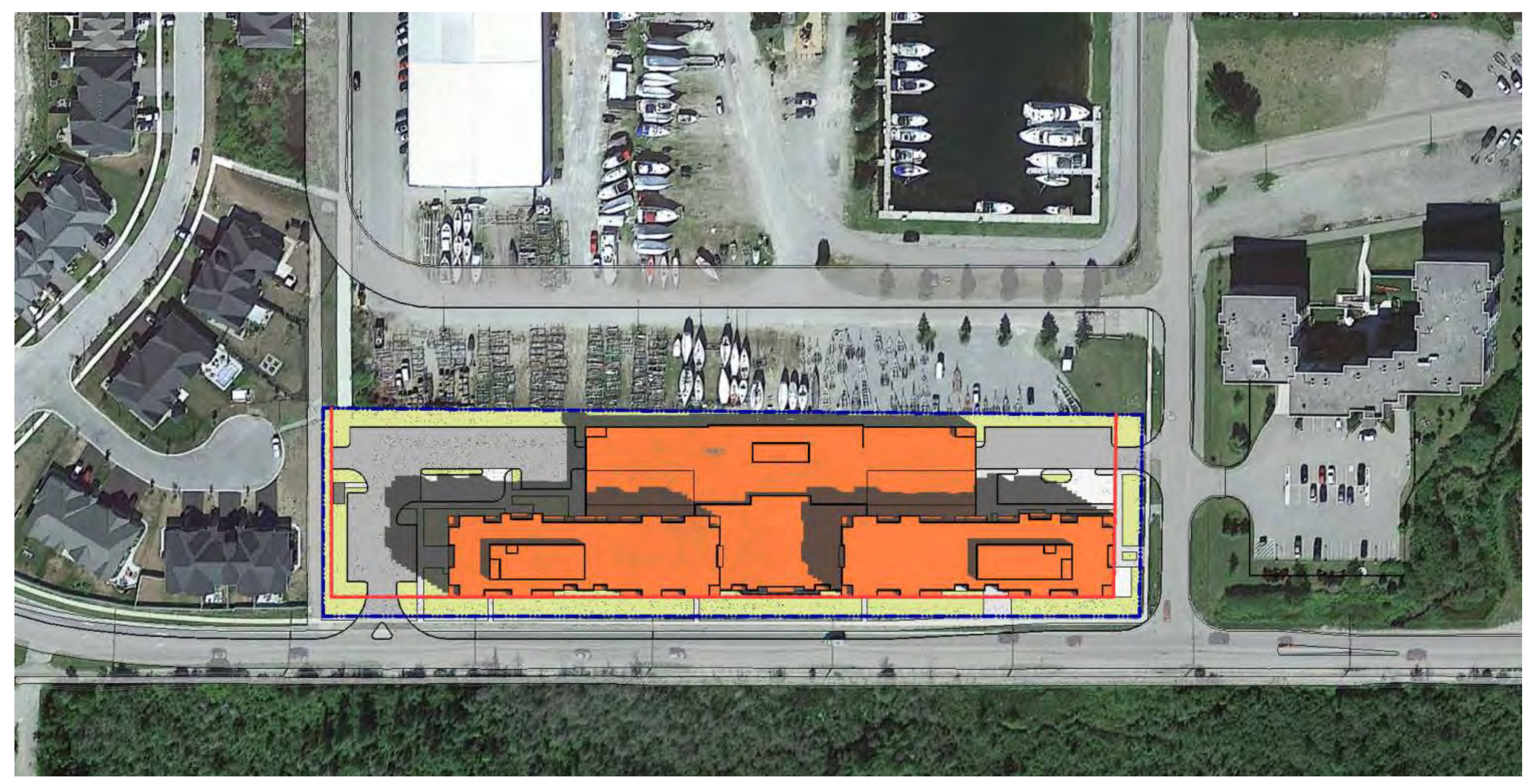

005 - Jun 21 - 10_00 AM

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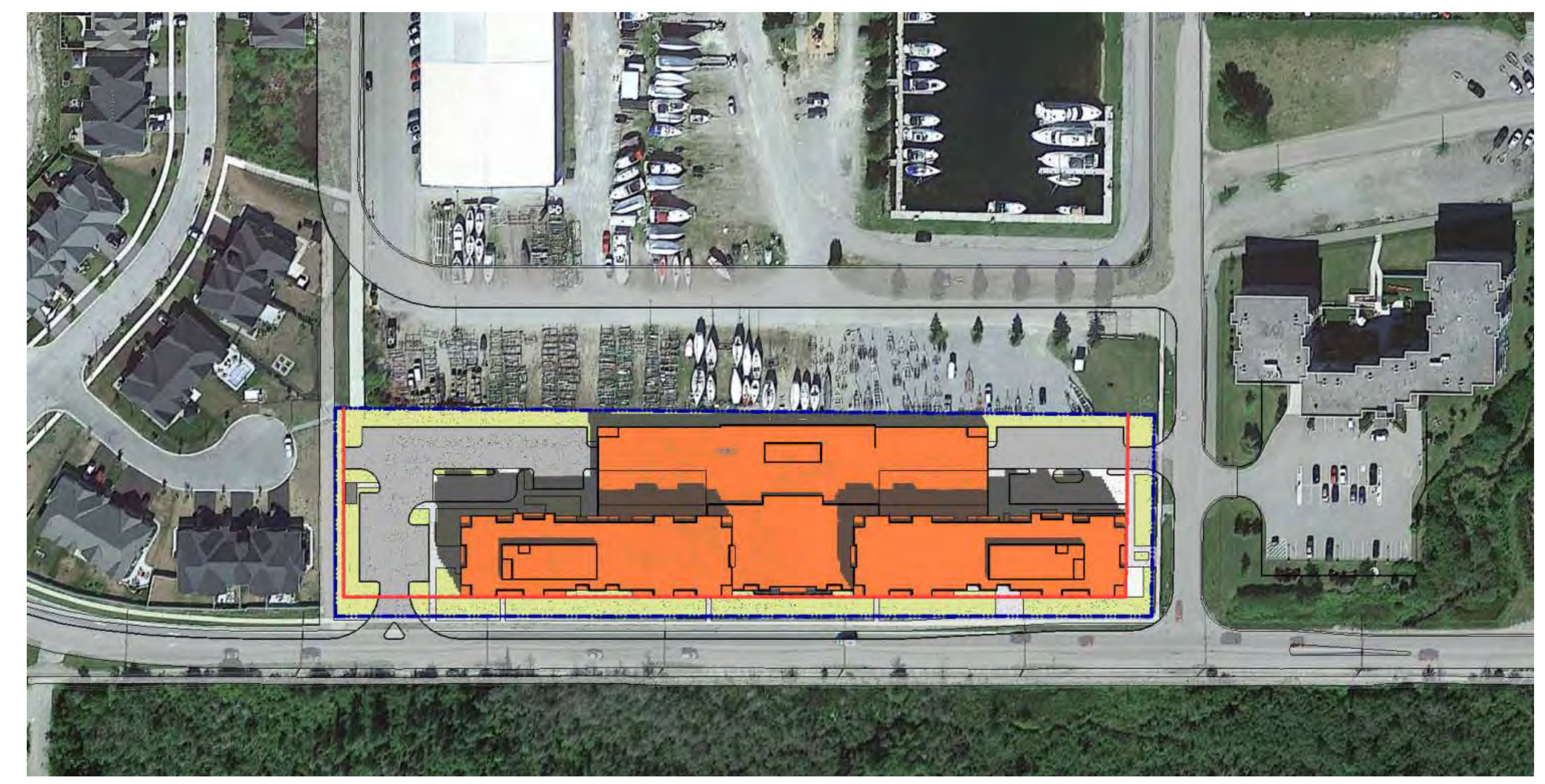
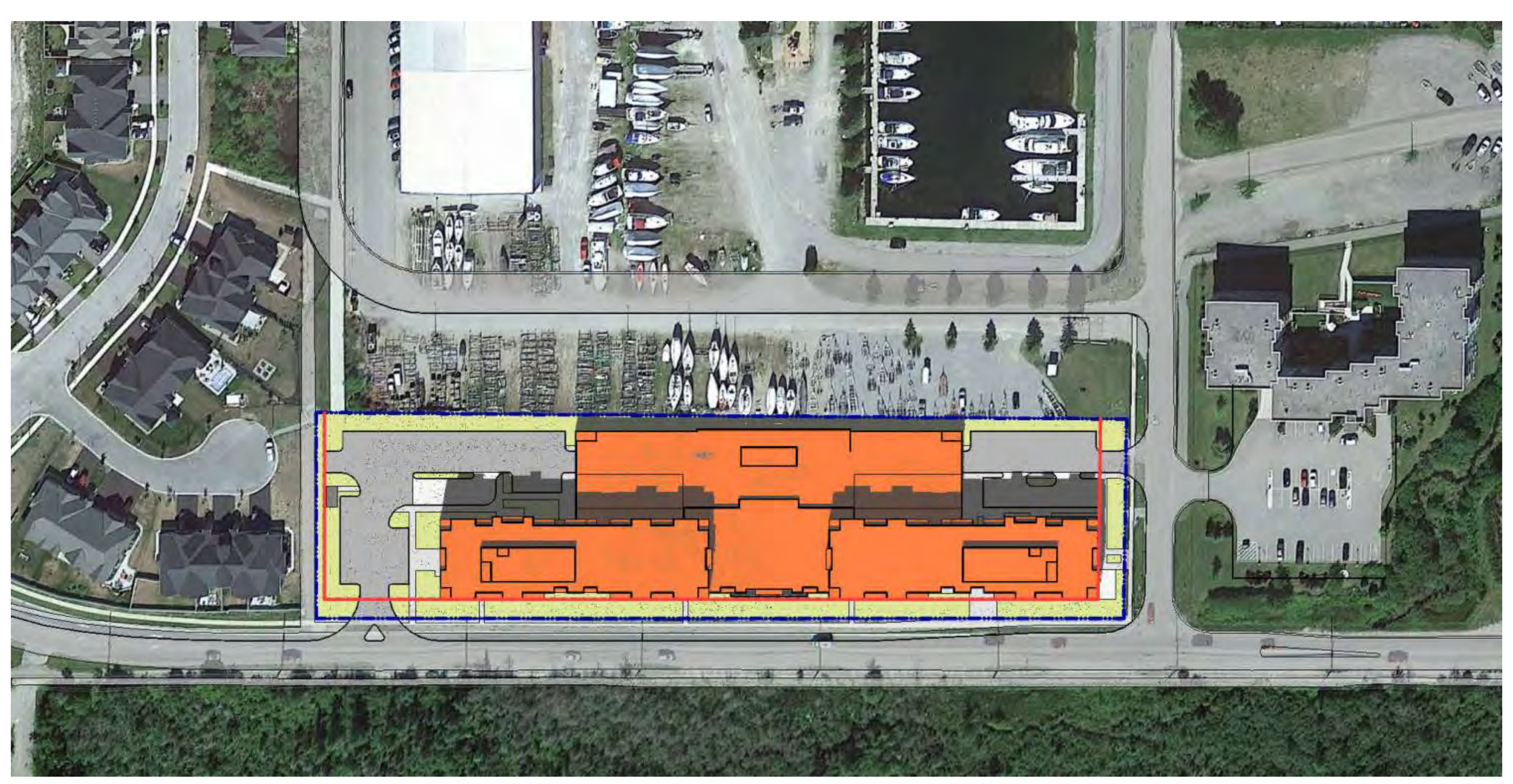


006 - Jun 21 - 11_00 AM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES



007 - Jun 21 - 12_00 PM

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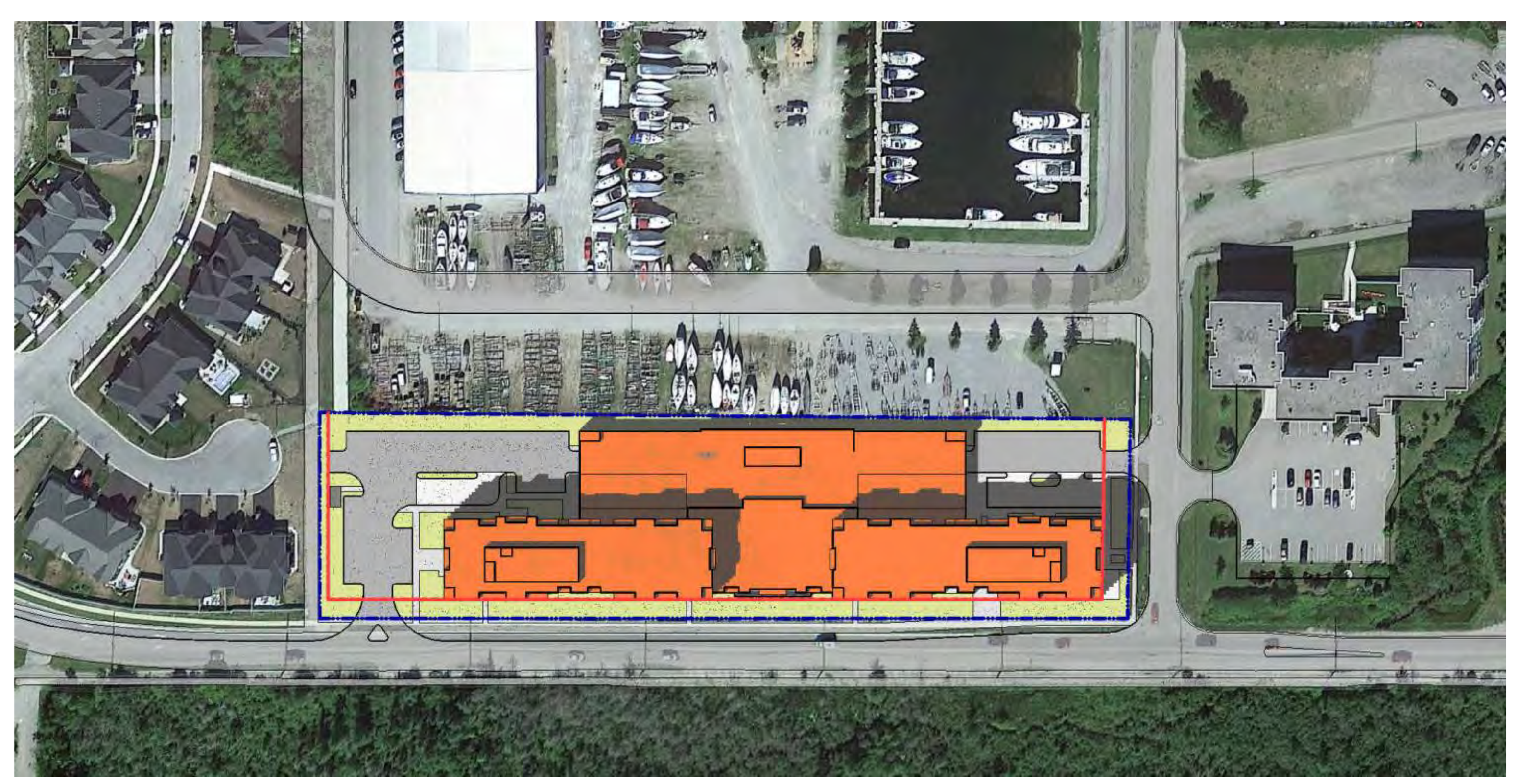

008 - Jun 21 - 01_00 PM

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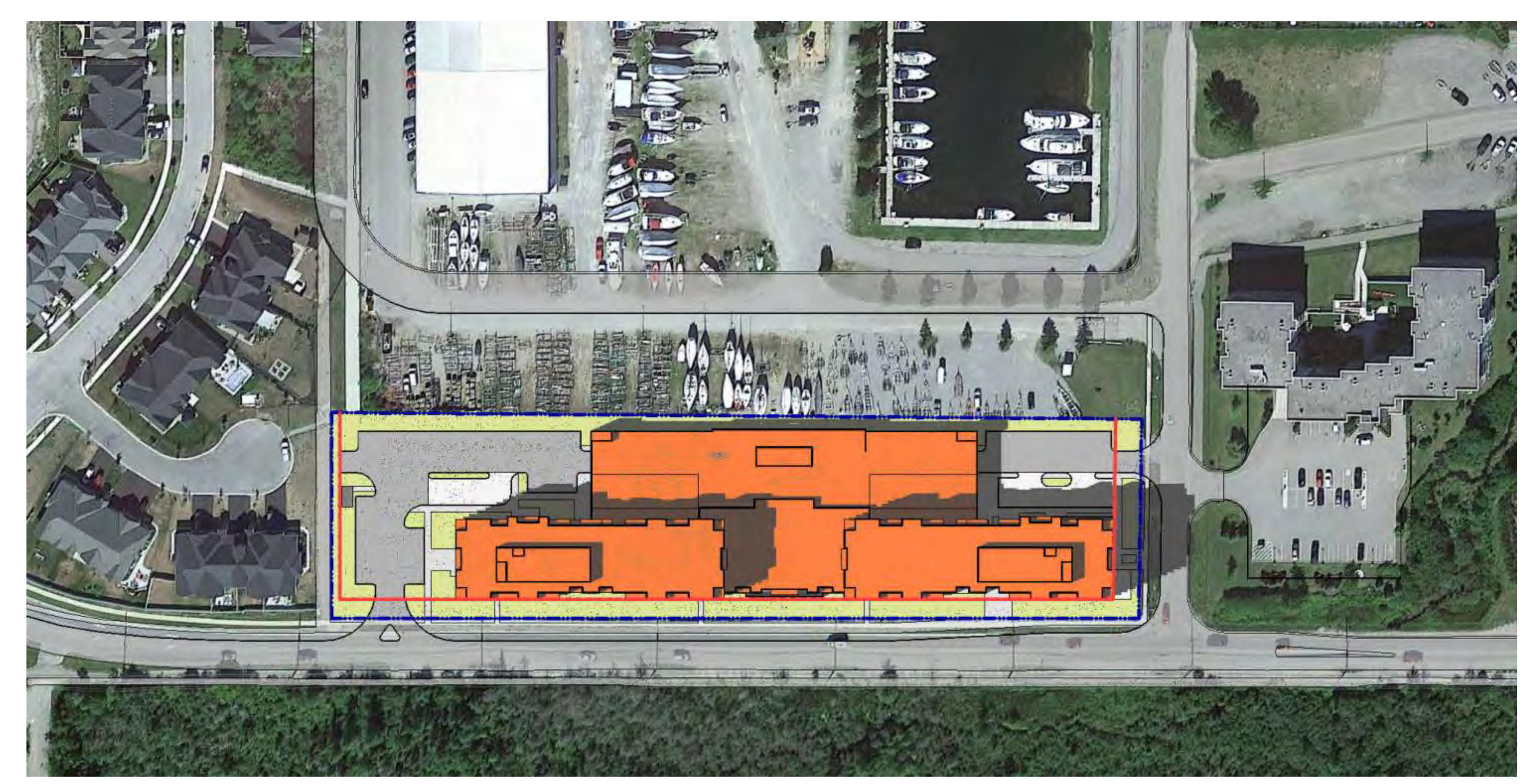

009 - Jun 21 - 02_00 PM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES

Chamberlain
Architects
Constructors
Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario, L7M 0W9
CANADA

Phone: 905.631.7777

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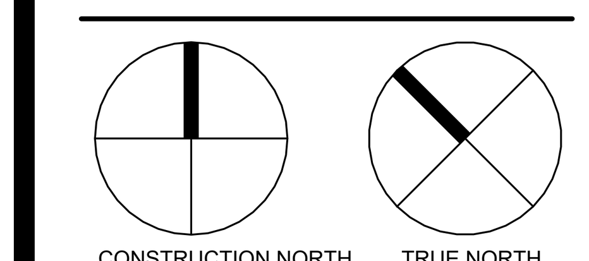
NO.	ISSUED	DATE

SEAL



BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

SHADOW STUDY - JUNE 21

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	CMC
SCALE	
PROJECT NO.	124043
DRAWING	A203

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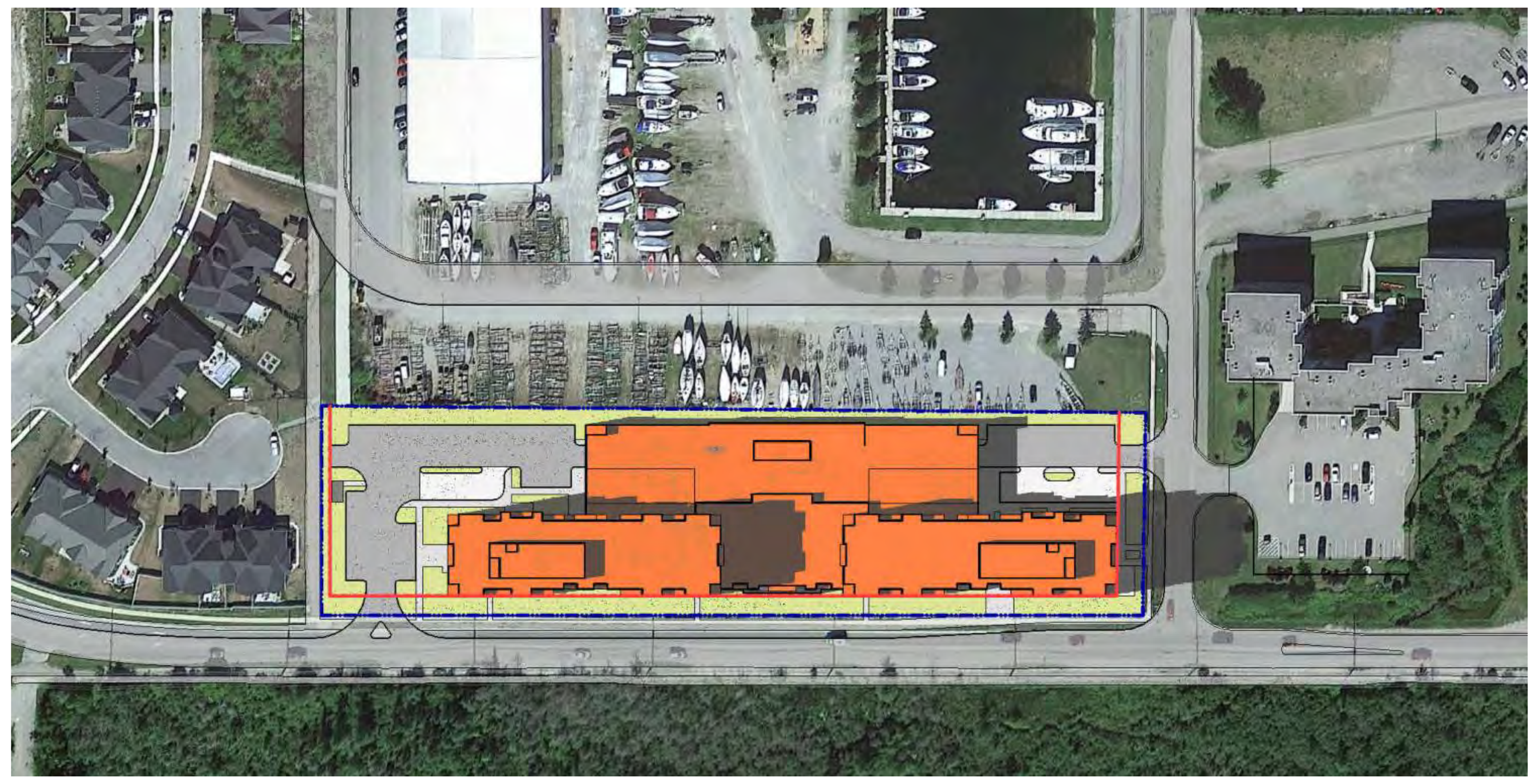
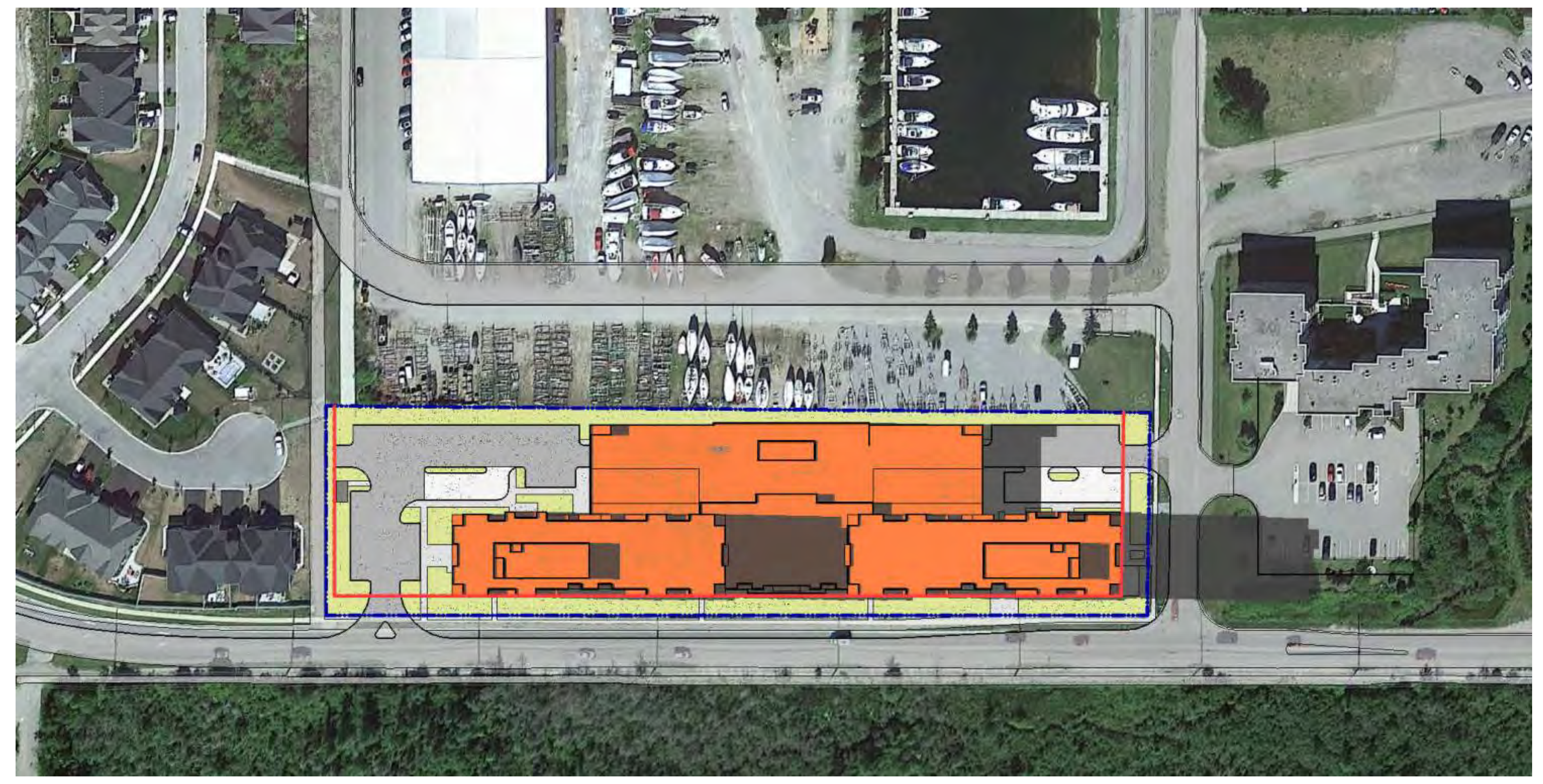
10/28/2024 9:03:47 AM



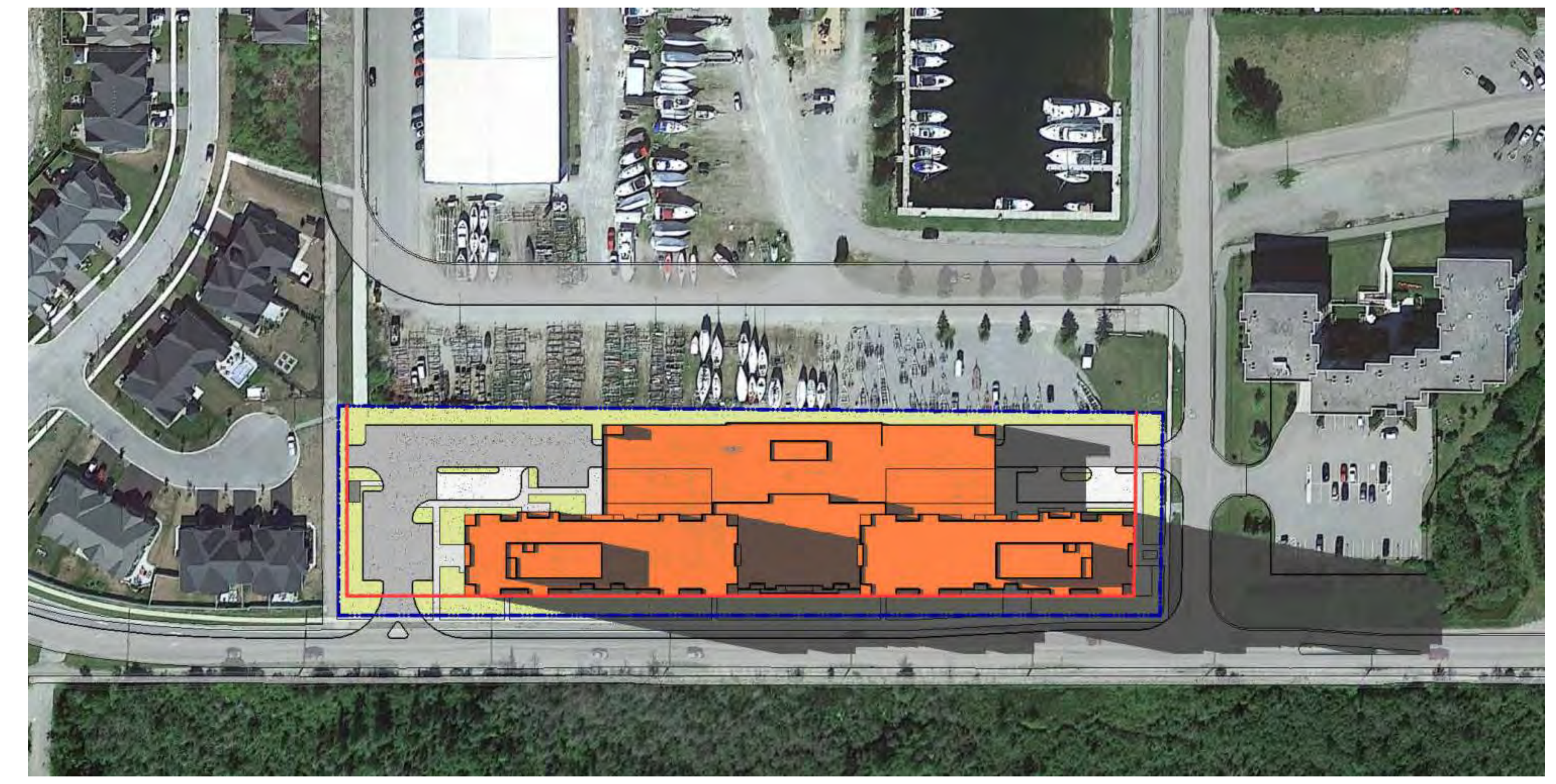
010 - Jun 21 - 03_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



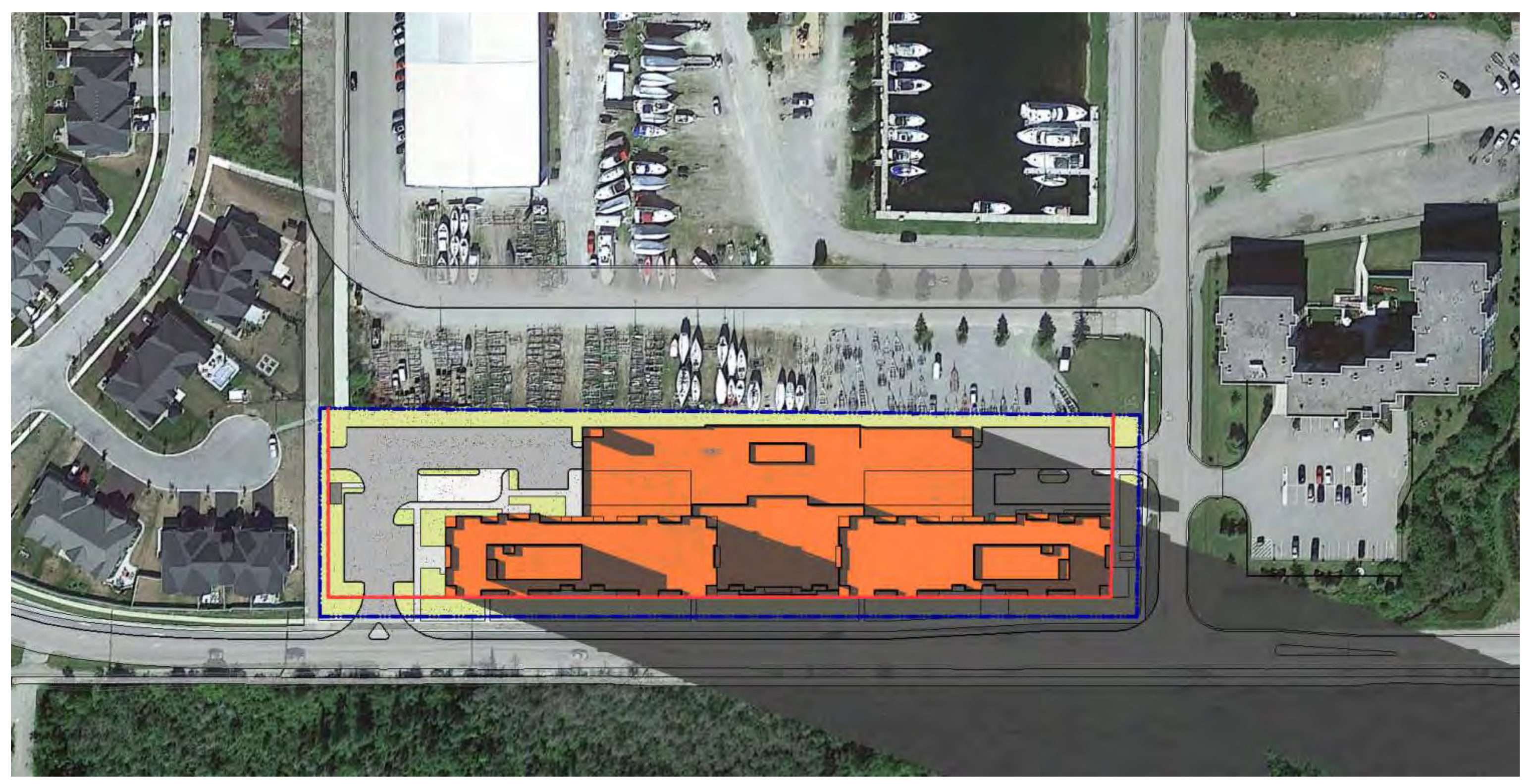
011 - Jun 21 - 04_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



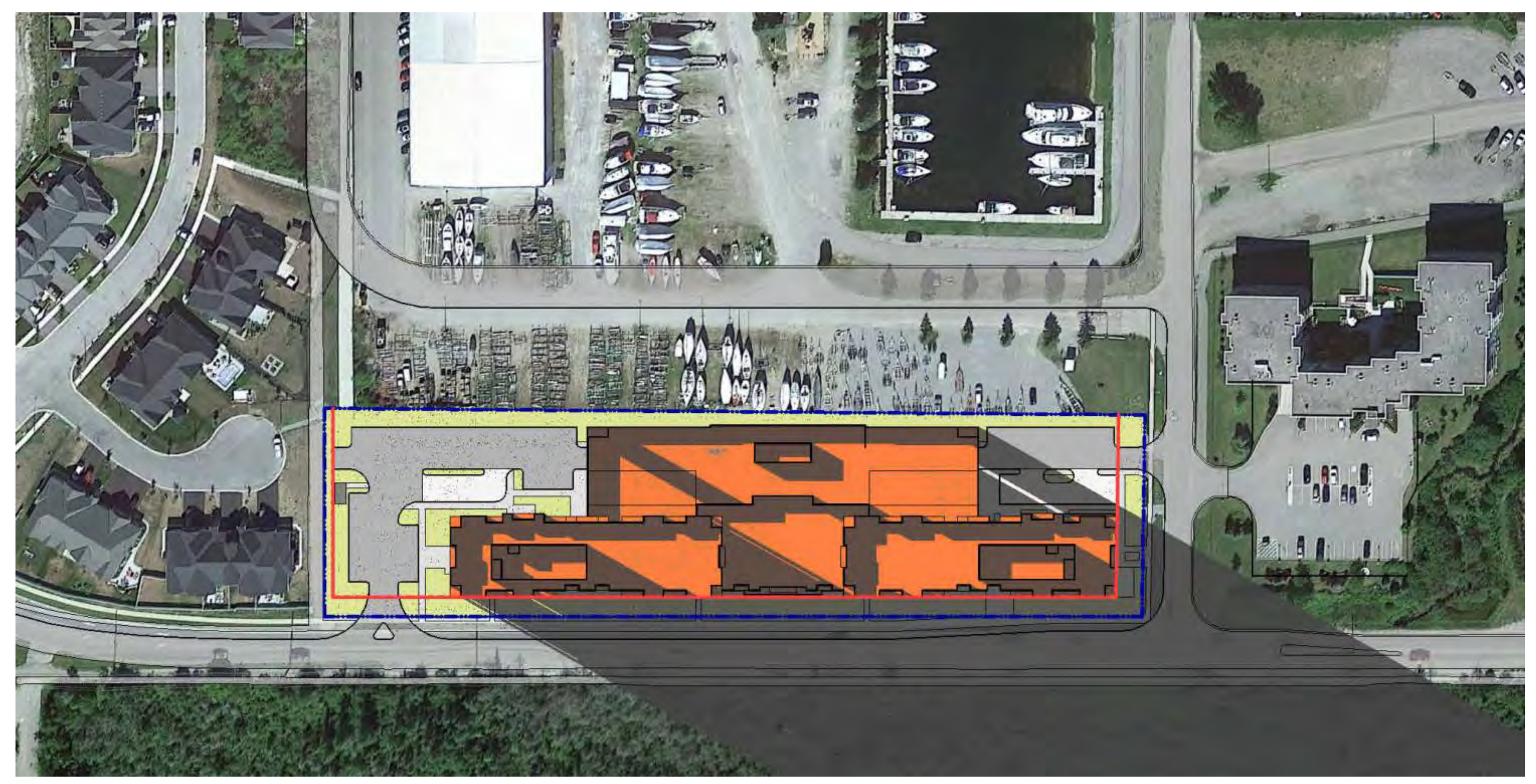
012 - Jun 21 - 05_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



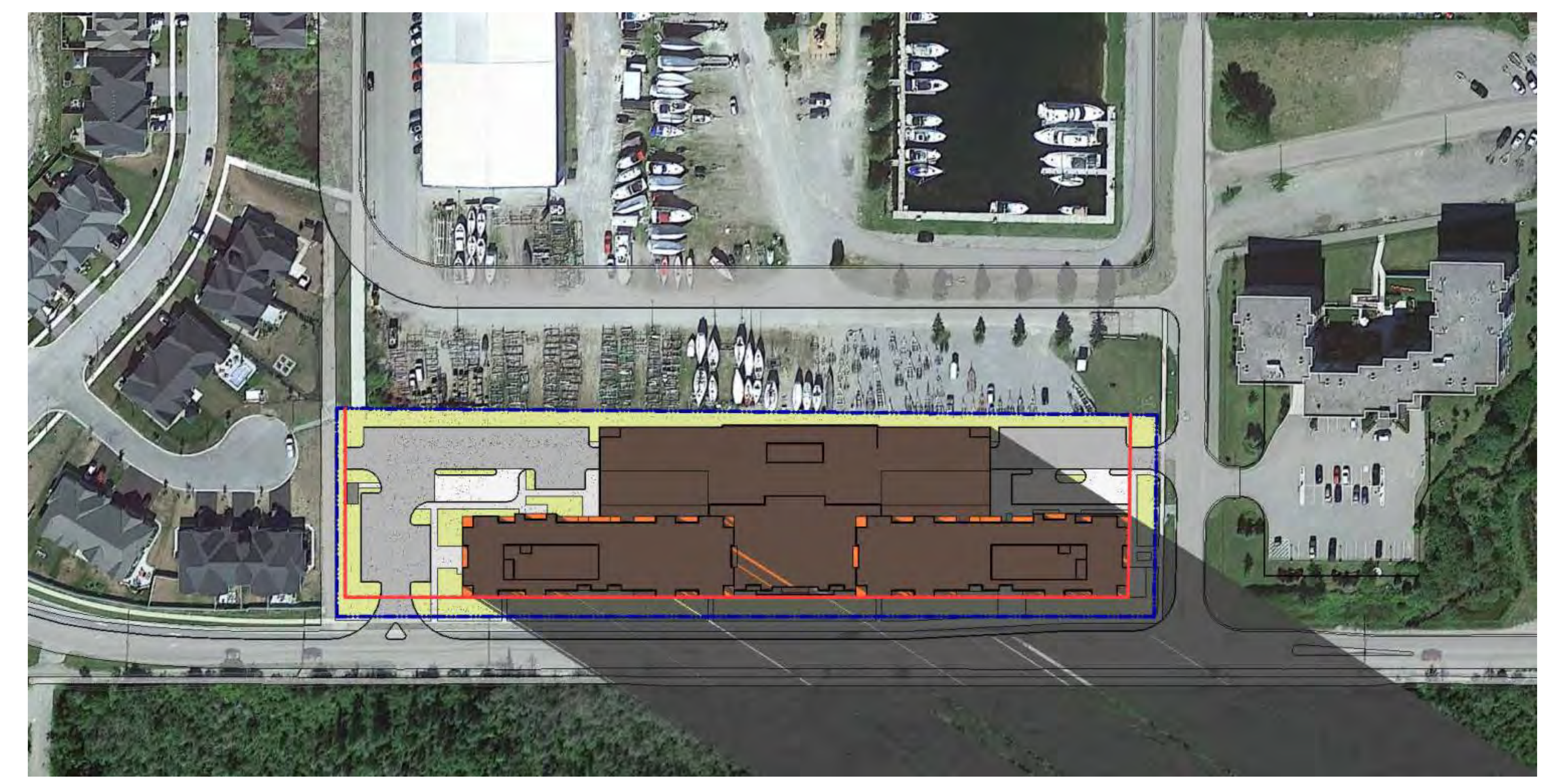
013 - Jun 21 - 06_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND WILDERNESS



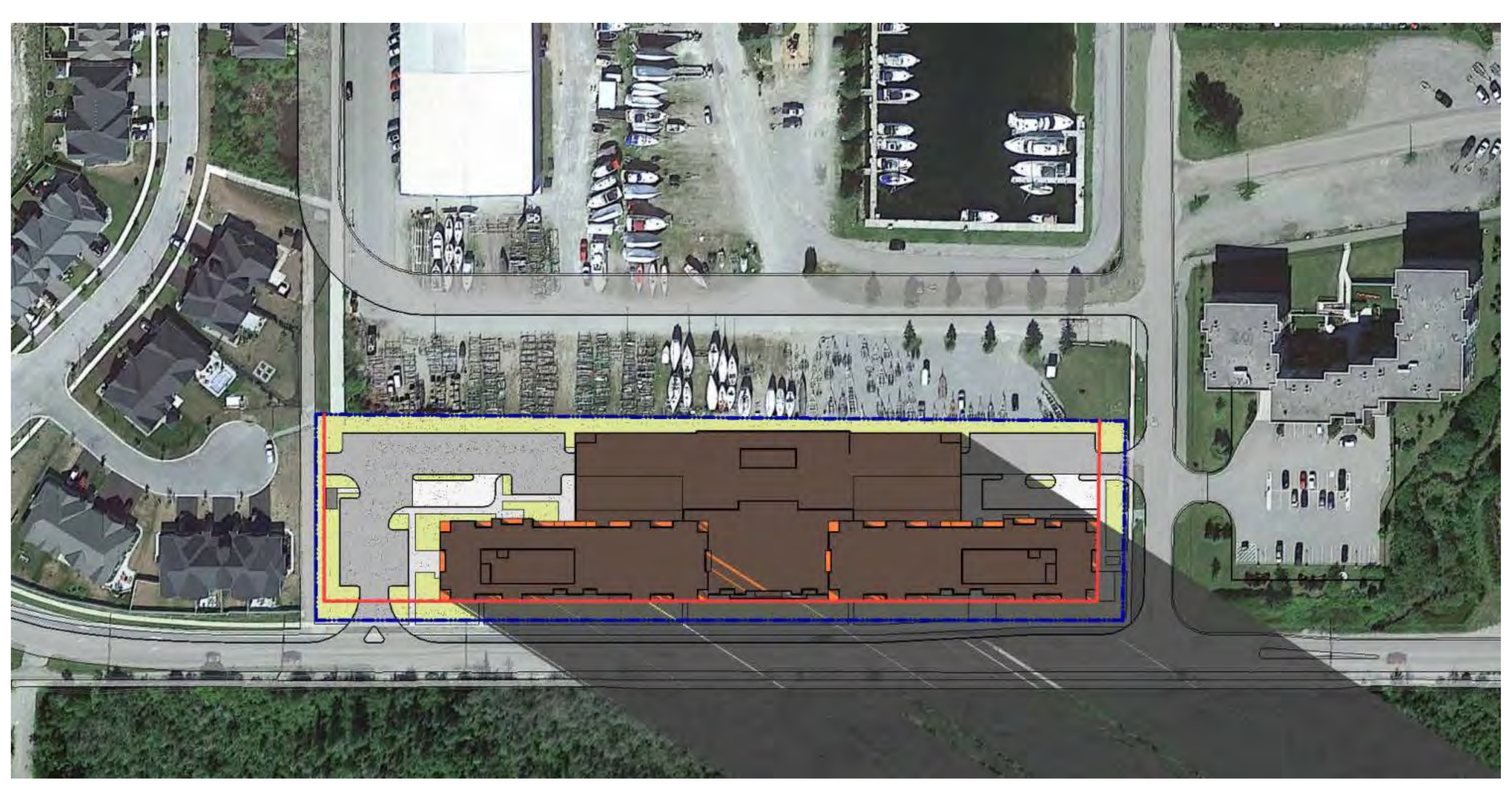
014 - Jun 21 - 07_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND WILDERNESS



015 - Jun 21 - 08_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND WILDERNESS



016 - Jun 21 - 09_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND WILDERNESS

Chamberlain Architects Constructors Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario, L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE

SEAL

CONSTRUCTION NORTH   TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

SHADOW STUDY - JUNE 21

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	CMC
SCALE	
PROJECT NO.	124043
DRAWING	A204

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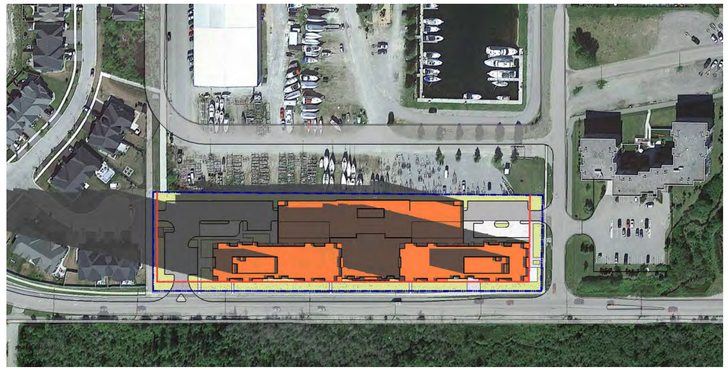


001 - Sep 21 - 07_00 AM

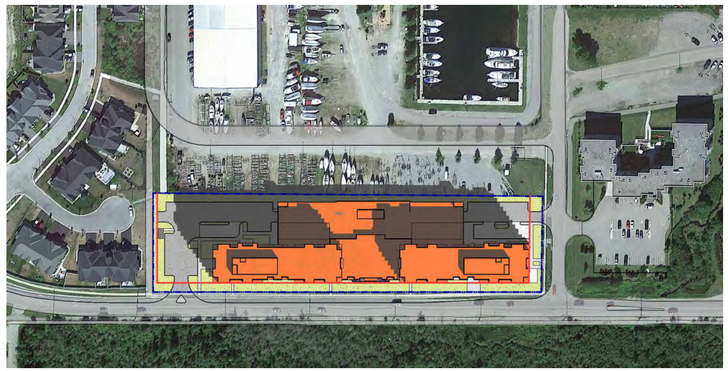
SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE

002 - Sep 21 - 08_00 AM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE

003 - Sep 21 - 09_00 AM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES



004 - Sep 21 - 10_00 AM

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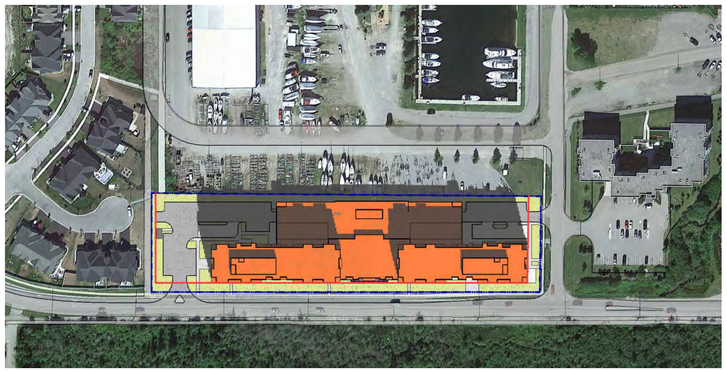


005 - Sep 21 - 11_00 AM

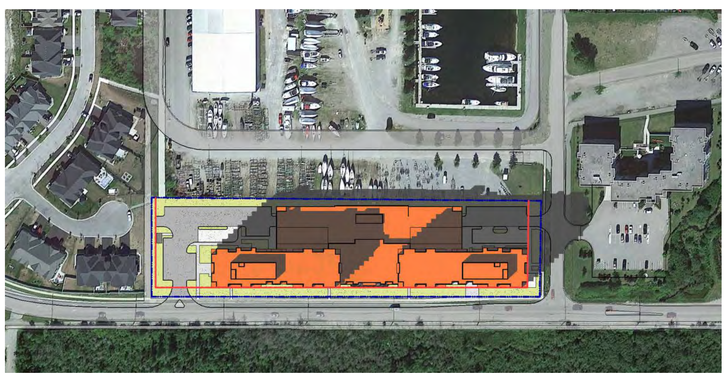
NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES

006 - Sep 21 - 12_00 PM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES

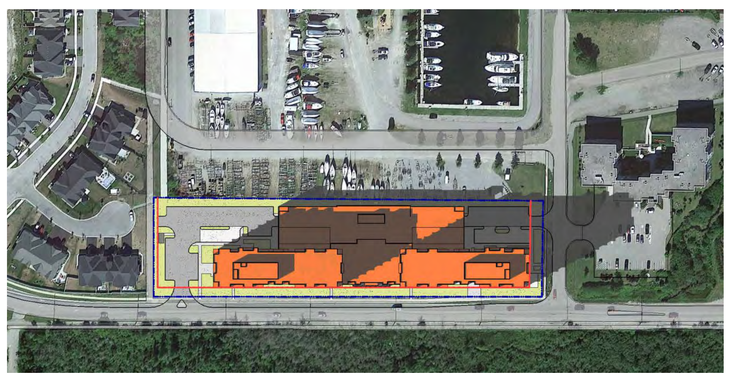
007 - Sep 21 - 01_00 PM

NO SHADOW ENCROACHING ONTO SURROUNDING PROPERTIES



008 - Sep 21 - 02_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



009 - Sep 21 - 03_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE

Chamberlain Architects Constructors Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario. L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE

SEAL

CONSTRUCTION NORTH

TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

SHADOW STUDY - SEPTEMBER 21

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	CMC
SCALE	
PROJECT NO.	124043

DRAWING

A205

C:\Users\hkarim\Documents\124043 - BAYPORT TOWER - SITE R17724 (2024-10-18)_hkarimADBP.rvt

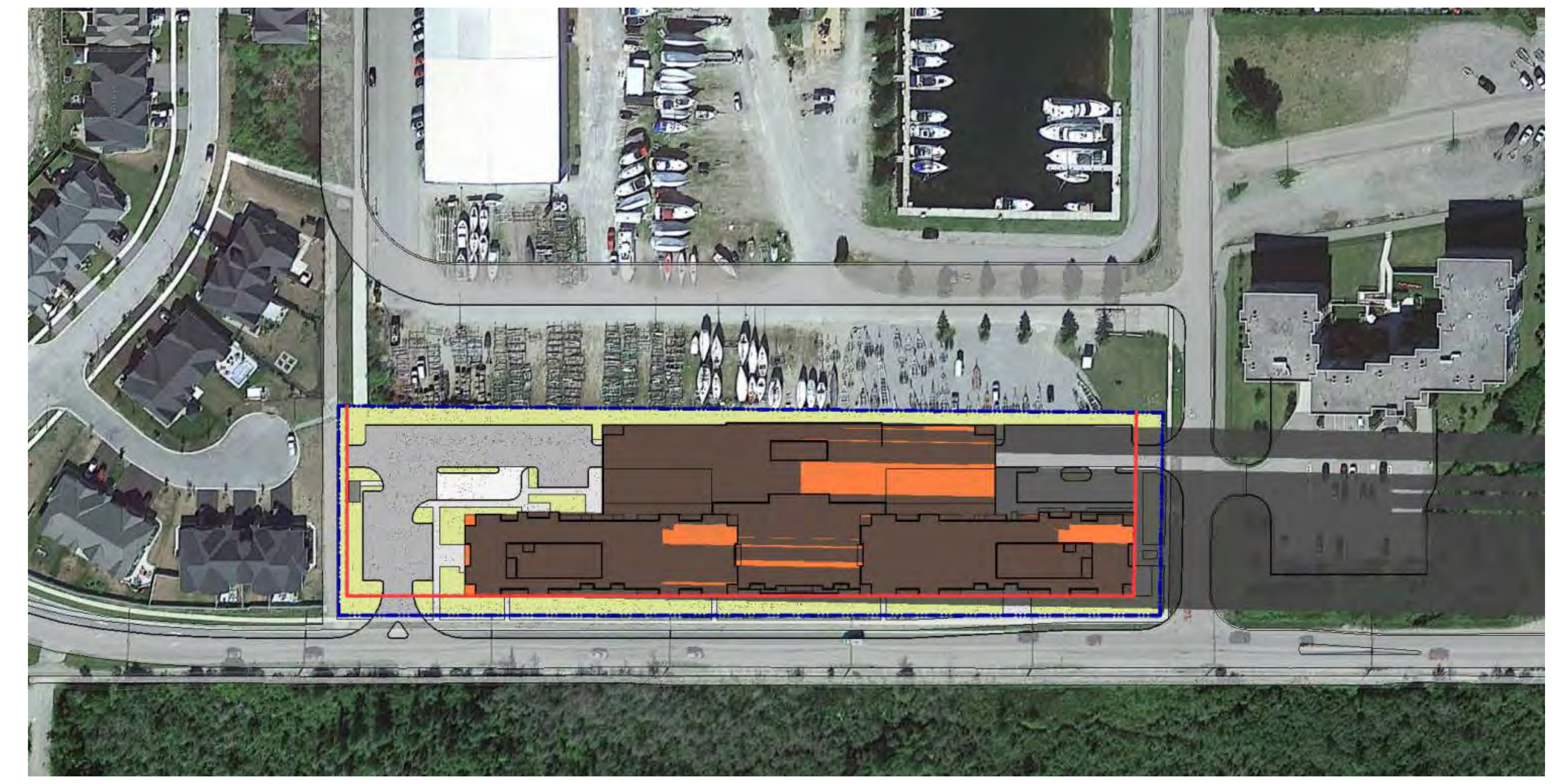
10/28/2024 9:03:50 AM

010 - Sep 21 - 04_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE

011 - Sep 21 - 05_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



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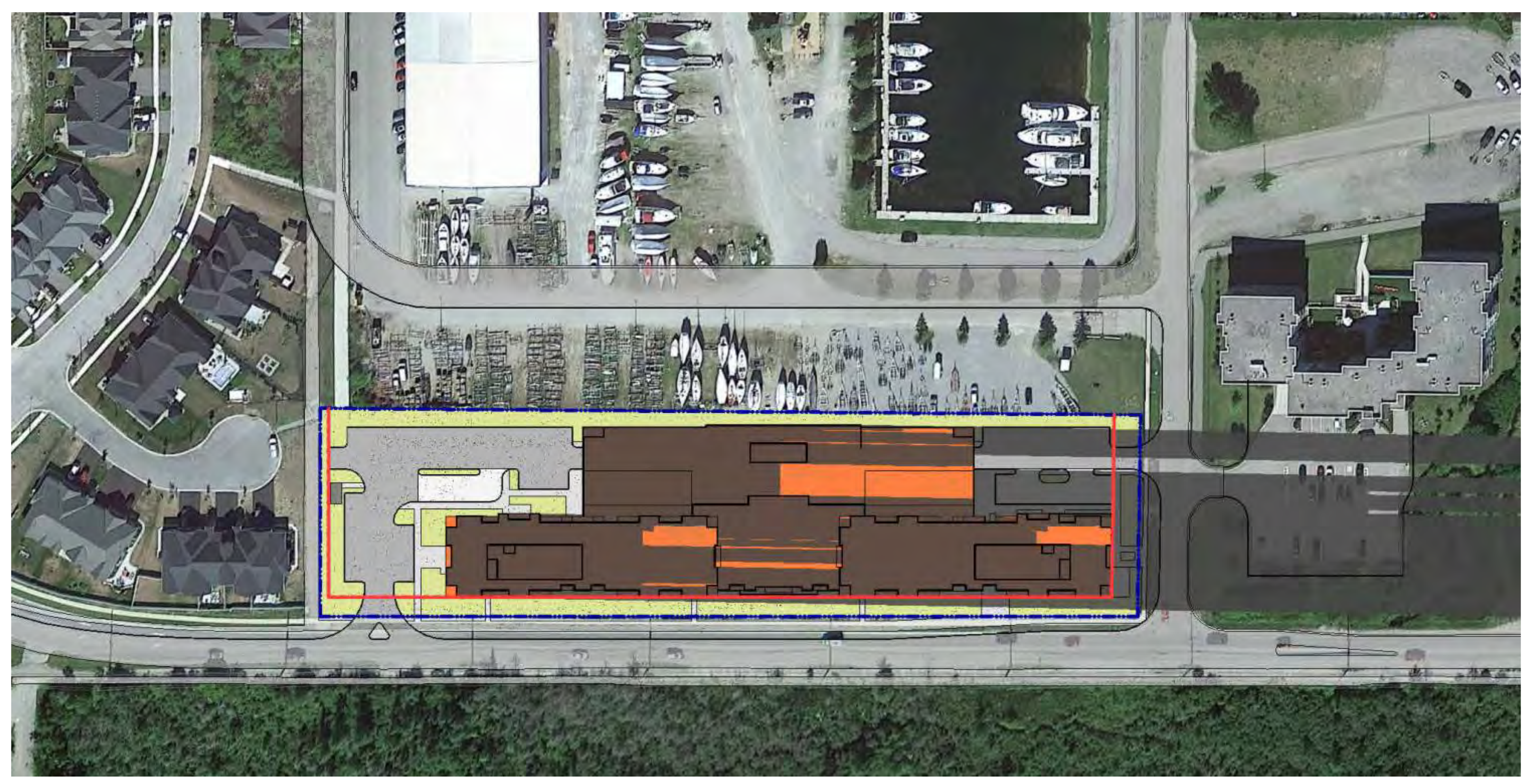
SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE



013 - Sep 21 - 07_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE

Chamberlain Architects Constructors Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario, L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE

SEAL

CONSTRUCTION NORTH

TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

SHADOW STUDY - SEPTEMBER 21

START DATE: AUGUST 2024

DRAWN BY: HK

CHECKED BY: CMC

SCALE

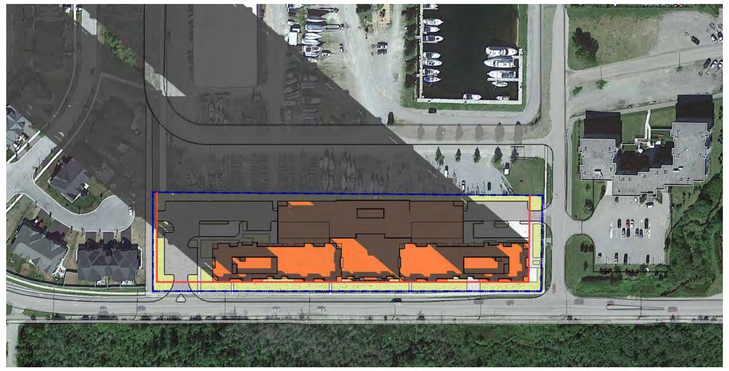
PROJECT NO.: 124043

DRAWING

A206

C:\Users\hkarim\Documents\124043 - BAYPORT TOWER - SITE RVT24 (2024-10-18)_hkarim4N2PP.rvt

10/28/2024 9:03:51 AM

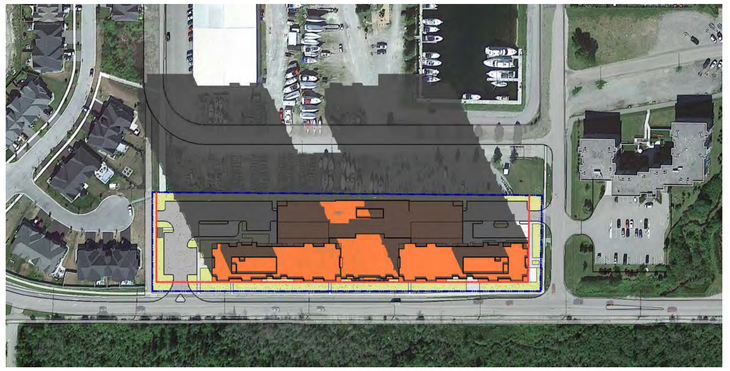


001 - Dec 21 - 08_00 AM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND MARINA

002 - Dec 21 - 09_00 AM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND MARINA



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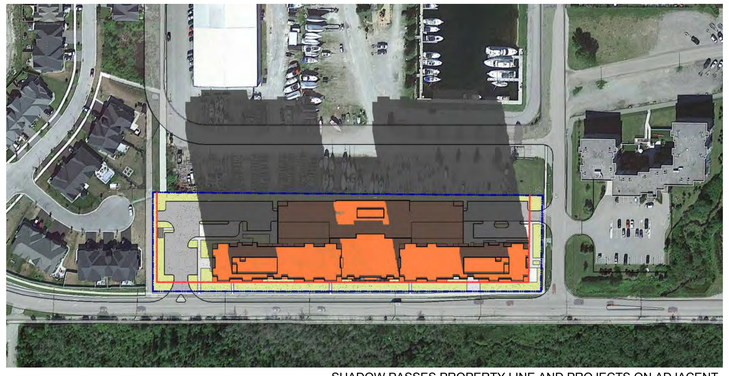
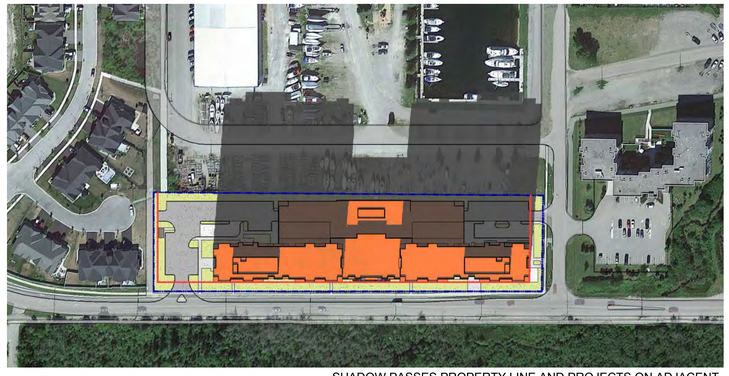


004 - Dec 21 - 11_00 AM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT MARINA



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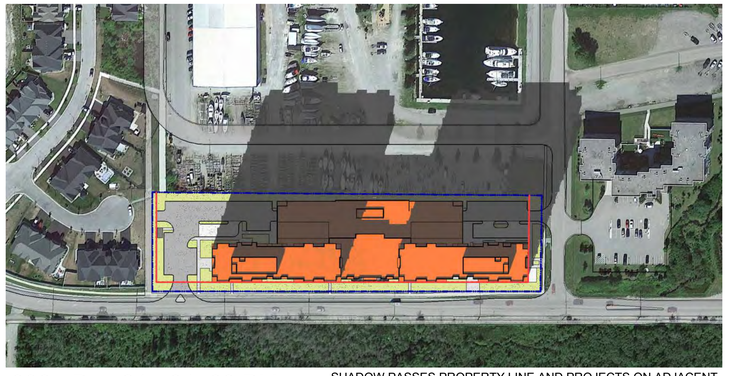
SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT MARINA



006 - Dec 21 - 01_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND MARINA

007 - Dec 21 - 02_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND MARINA

008 - Dec 21 - 03_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND MARINA

009 - Dec 21 - 04_00 PM

SHADOW PASSES PROPERTY LINE AND PROJECTS ON ADJACENT RESIDENTIAL ZONE AND MARINA

chamberlain Architects Constructors Managers

Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario. L7M 0W9
CANADA

Phone: 905.631.7777

www.chamberlainIPD.com

NO.	ISSUED	DATE

SEAL

CONSTRUCTION NORTH TRUE NORTH

BAYPORT TOWER

1191 HARBOURVIEW DRIVE
MIDLAND, ON

SHEET NAME

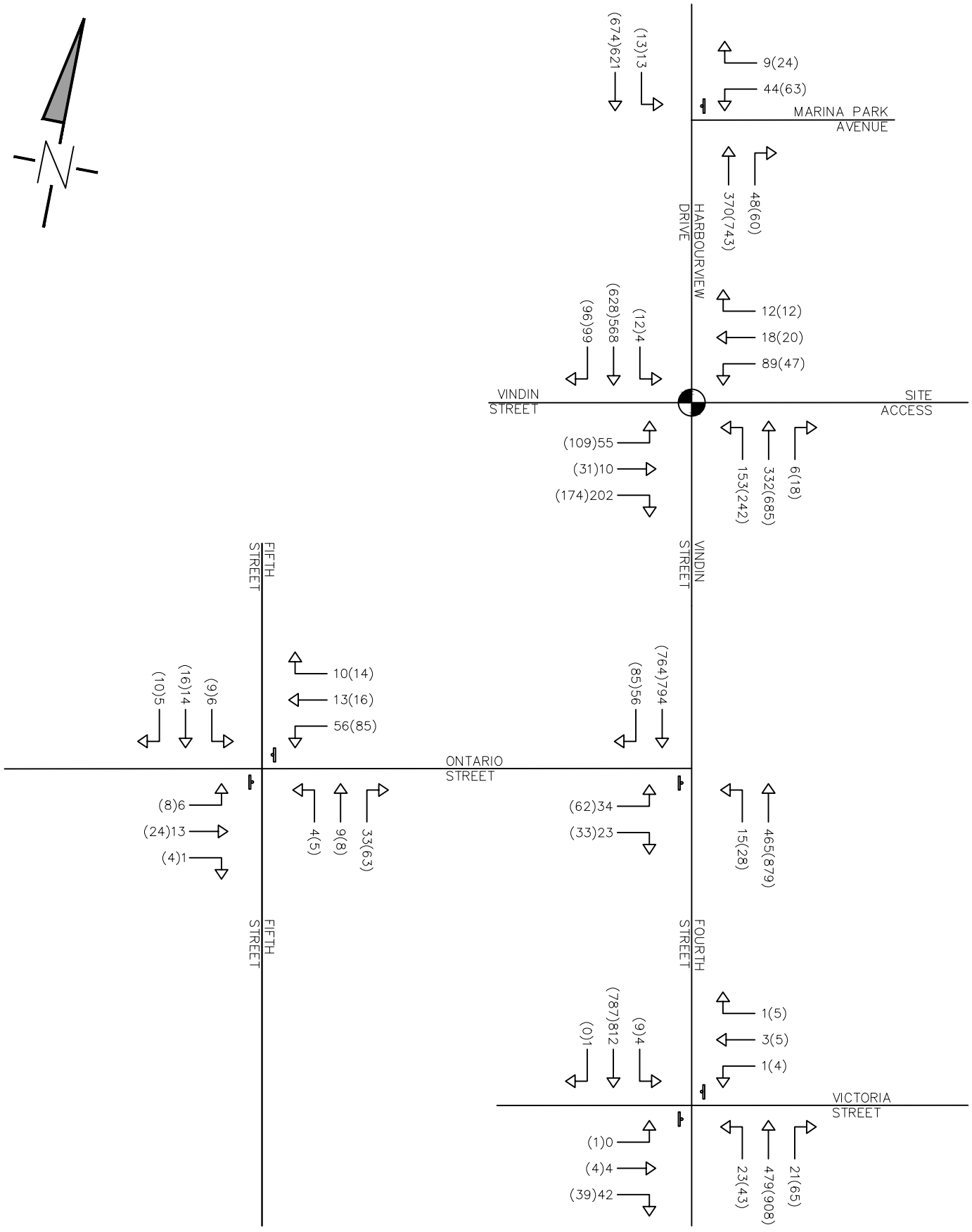
SHADOW STUDY - DECEMBER 21

START DATE	AUGUST 2024
DRAWN BY	HK
CHECKED BY	CMC
SCALE	
PROJECT NO.	124043
DRAWING	A207

C:\Users\hkarm\Documents\124043 - BAYPORT TOWER - SITE RVT24 (2024-10-18)_HammadNDPP.rvt

10/28/2024 9:03:53 AM

Appendix B
Road Traffic Data



Legend

- SIGNAL CONTROL
- STOP CONTROL
- XX(YY) A.M. (P.M.) PEAK HOUR TRAFFIC VOLUMES

Project

650 VINDIN STREET
MIDLAND, ONTARIO

Drawing

2030 FUTURE TOTAL TRAFFIC VOLUMES

CROZIER CONSULTING ENGINEERS
THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By	Design By	Project
S.K.	S.K.	113-4834

Scale	Date	Check By	Drawing
N.T.S.	05/07/2020	A.F.	FIG. 12

Appendix C
Sample STAMSON 5.04 Output

STAMSON 5.0 NORMAL REPORT Date: 07-03-2025 15:06:54
MINISTRY OF ENVIRONMENT AND ENERGY / NOISE ASSESSMENT

Filename: a.te Time Period: Day/Night 16/8 hours

Description: Southwest facade
Road data, segment # 1: Harbourview (day/night)

Car traffic volume : 14361/1596 veh/TimePeriod *
Medium truck volume : 296/33 veh/TimePeriod *
Heavy truck volume : 148/16 veh/TimePeriod *
Posted speed limit : 50 km/h
Road gradient : 0 %
Road pavement : 1 (Typical asphalt or concrete)

* Refers to calculated road volumes based on the following input:

24 hr Traffic Volume (AADT or SADT): 15276
Percentage of Annual Growth : 2.50
Number of Years of Growth : 3.00
Medium Truck % of Total Volume : 2.00
Heavy Truck % of Total Volume : 1.00
Day (16 hrs) % of Total Volume : 90.00

Data for Segment # 1: Harbourview (day/night)

Angle1 Angle2 : -90.00 deg 90.00 deg
Wood depth : 0 (No woods.)
No of house rows : 0 / 0
Surface : 2 (Reflective ground surface)
Receiver source distance : 16.20 / 16.20 m
Receiver height : 34.50 / 34.50 m
Topography : 1 (Flat/gentle slope; no barrier)
Reference angle : 0.00

Results segment # 1: Harbourview (day)

Source height = 1.00 m

ROAD (0.00 + 64.19 + 0.00) = 64.19 dBA

Angle1	Angle2	Alpha	RefLeq	P.Adj	D.Adj	F.Adj	W.Adj	H.Adj	B.Adj	SubLeq
-90	90	0.00	64.53	0.00	-0.33	0.00	0.00	0.00	0.00	64.19

Segment Leq : 64.19 dBA

Total Leq All Segments: 64.19 dBA
Results segment # 1: Harbourview (night)

```
----------------------------------------

Source height = 0.99 m

ROAD (0.00 + 57.62 + 0.00) = 57.62 dBA
Angle1 Angle2  Alpha RefLeq  P.Adj  D.Adj  F.Adj  W.Adj  H.Adj  B.Adj SubLeq
-------------------------------------------------------------------------------
   -90     90   0.00  57.96   0.00  -0.33   0.00   0.00   0.00   0.00  57.62
-------------------------------------------------------------------------------

Segment Leq : 57.62 dBA

Total Leq All Segments: 57.62 dBA

TOTAL Leq FROM ALL SOURCES (DAY): 64.19 dBA
                           (NIGHT): 57.62 dBA
```

STAMSON 5.0 NORMAL REPORT Date: 07-03-2025 15:06:59
MINISTRY OF ENVIRONMENT AND ENERGY / NOISE ASSESSMENT

Filename: c.te Time Period: 16 hours

Description: Fourth floor OLA
Road data, segment # 1: Harbourview

Car traffic volume : 14361 veh/TimePeriod *
Medium truck volume : 296 veh/TimePeriod *
Heavy truck volume : 148 veh/TimePeriod *
Posted speed limit : 50 km/h
Road gradient : 0 %
Road pavement : 1 (Typical asphalt or concrete)

Data for Segment # 1: Harbourview

Angle1 Angle2 : -90.00 deg -80.00 deg
Wood depth : 0 (No woods.)
No of house rows : 0
Surface : 2 (Reflective ground surface)
Receiver source distance : 19.00 m
Receiver height : 1.50 m
Topography : 4 (Elevated; with barrier)
Barrier angle1 : -90.00 deg Angle2 : -80.00 deg
Barrier height : 3.05 m
Elevation : 11.00 m
Barrier receiver distance : 11.00 m
Source elevation : 0.00 m
Receiver elevation : 11.00 m
Barrier elevation : 11.00 m
Reference angle : 0.00

Road data, segment # 2: Harbourview

Car traffic volume : 14361 veh/TimePeriod *
Medium truck volume : 296 veh/TimePeriod *
Heavy truck volume : 148 veh/TimePeriod *
Posted speed limit : 50 km/h
Road gradient : 0 %
Road pavement : 1 (Typical asphalt or concrete)

Data for Segment # 2: Harbourview

Angle1 Angle2 : -80.00 deg 90.00 deg
Wood depth : 0 (No woods.)
No of house rows : 0
Surface : 2 (Reflective ground surface)
Receiver source distance : 19.00 m
Receiver height : 1.50 m

```
Topography                :      4       (Elevated; with barrier)
Barrier angle1            : -80.00 deg   Angle2 : 90.00 deg
Barrier height            :   0.00 m
Elevation                 :  11.00 m
Barrier receiver distance :  11.00 m
Source elevation          :   0.00 m
Receiver elevation        :  11.00 m
Barrier elevation         :  11.00 m
Reference angle           :   0.00

Results segment # 1: Harbourview
--------------------------------

Source height = 1.00 m

Barrier height for grazing incidence
------------------------------------
Source      ! Receiver    ! Barrier     ! Elevation of
Height  (m) ! Height  (m) ! Height  (m) ! Barrier Top  (m)
------------+-------------+-------------+--------------
       1.00 !        1.50 !       -5.16 !         5.84

ROAD (0.00 + 39.46 + 0.00) = 39.46 dBA
Angle1 Angle2  Alpha RefLeq  P.Adj  D.Adj  F.Adj  W.Adj  H.Adj  B.Adj SubLeq
-------------------------------------------------------------------------------
   -90    -80   0.00  64.53   0.00  -1.03 -12.55   0.00   0.00 -11.49  39.46
-------------------------------------------------------------------------------

Segment Leq : 39.46 dBA

Results segment # 2: Harbourview
--------------------------------

Source height = 1.00 m

Barrier height for grazing incidence
------------------------------------
Source      ! Receiver    ! Barrier     ! Elevation of
Height  (m) ! Height  (m) ! Height  (m) ! Barrier Top  (m)
------------+-------------+-------------+--------------
       1.00 !        1.50 !       -5.16 !         5.84

ROAD (0.00 + 46.96 + 0.00) = 46.96 dBA
Angle1 Angle2  Alpha RefLeq  P.Adj  D.Adj  F.Adj  W.Adj  H.Adj  B.Adj SubLeq
-------------------------------------------------------------------------------
   -80     90   0.00  64.53   0.00  -1.03  -0.25   0.00   0.00 -16.29  46.96
-------------------------------------------------------------------------------

Segment Leq : 46.96 dBA
```

Total Leq All Segments: 47.67 dBA

TOTAL Leq FROM ALL SOURCES: 47.67 dBA