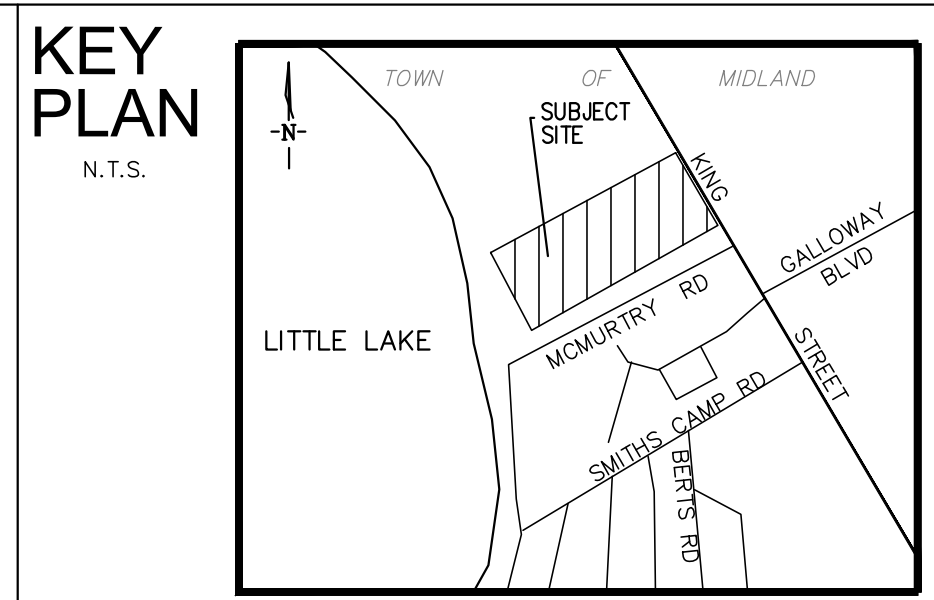
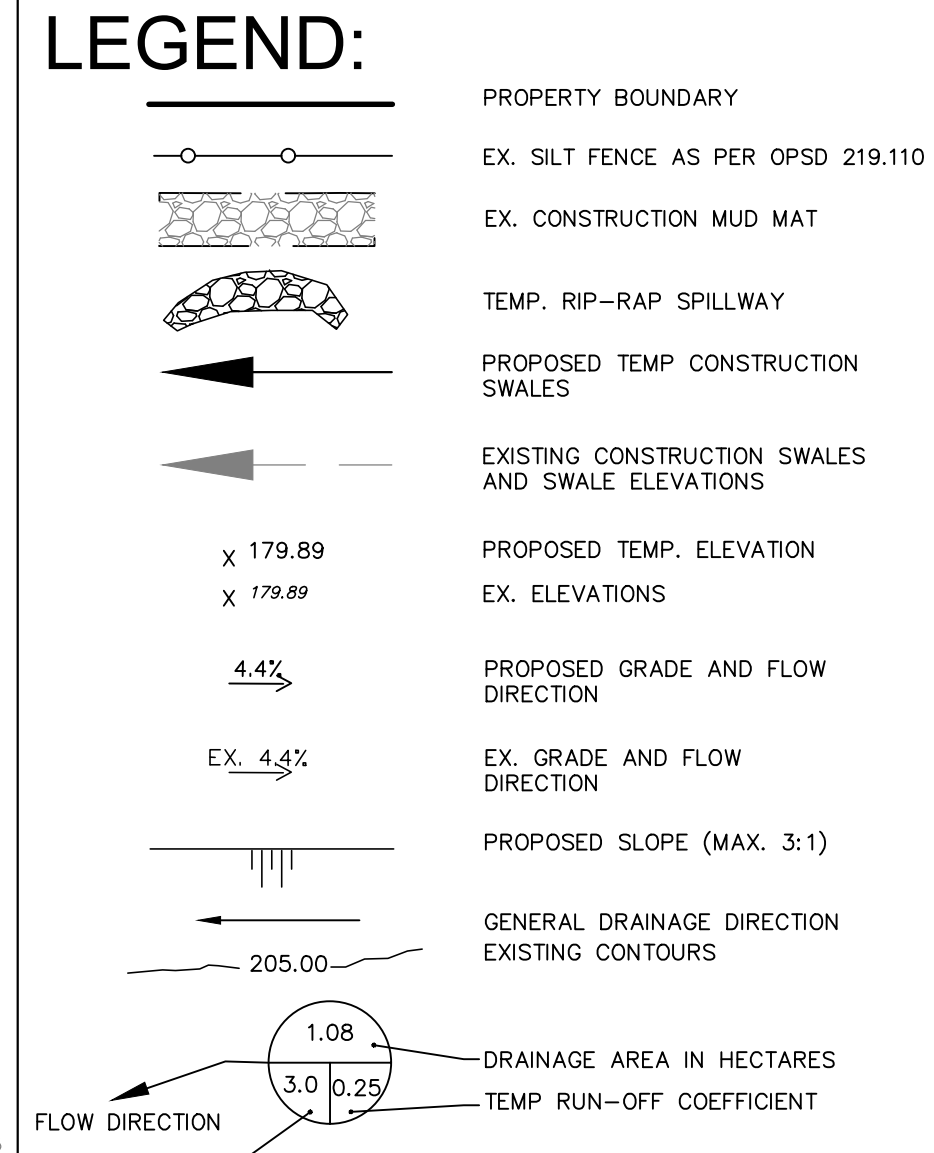


JFIVE DEVELOPMENTS LTD.
 1 FOSTER MARKET CRT. BARRIE, ON L4N 2A6
 TEL: 705-794-0301 FAX: 705-794-0302
 www.jfive.com

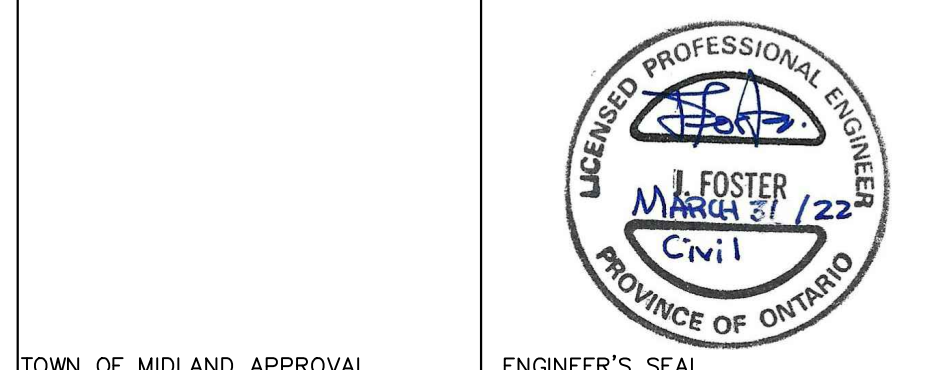


SURVEY NOTES:
 LEGAL AND TOPOGRAPHIC INFORMATION OBTAINED FROM PRESTON, NICHOLSON AND HARVEY O.L.S. - FILE 08-3968
BENCHMARK: 200.57m
 TOP OF IB LOCATED AT THE S.W. CORNER OF SUBJECT PROPERTY HAVING AN ELEVATION OF 200.57m

- GENERAL NOTES:**
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 - PRIOR TO ANY WORKS ON MUNICIPAL PROPERTY A ROAD ACTIVITY PERMIT SHALL BE OBTAINED FROM THE TOWN OF MIDLAND.
 - JFIVE DEVELOPMENTS LTD. TAKES NO LIABILITY FOR SURVEY DATA.



NO.	REVISION	DATE	BY	APPRVD
3	REVISED SPA COMMENTS	MAR 31/22	J.F.	J.F.
2	PHASE 2-ISSUED FOR FND. PERMIT	MAR 4/22	J.F.	J.F.
1	SITE PLAN AMENDMENT PHASE 2	OCT 26/21	J.F.	J.F.



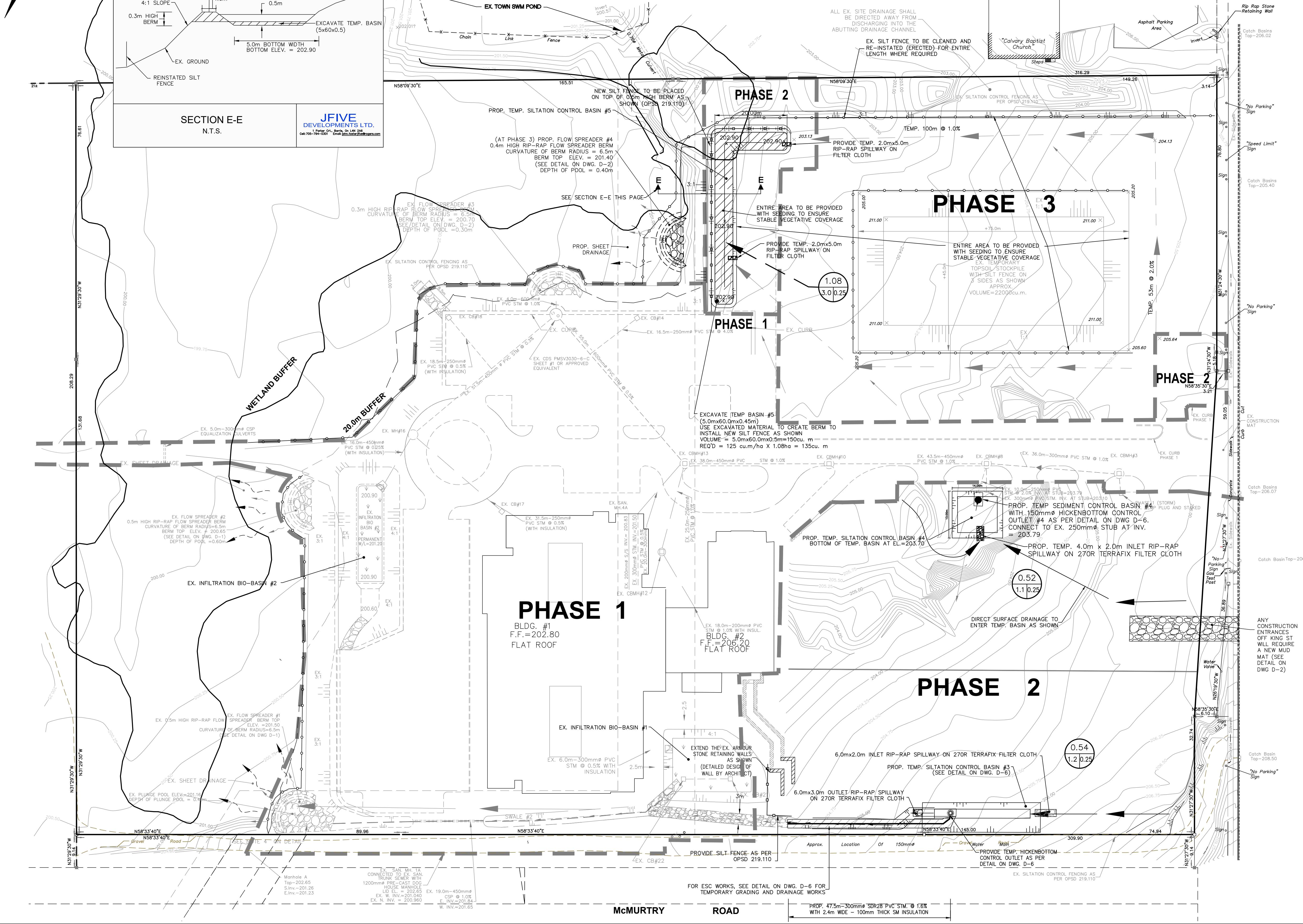
TOWN OF MIDLAND APPROVAL
 PROJECT: **VILLA RETIREMENT LODGE PHASE 2**
#658 KING STREET
 TOWN OF MIDLAND

TITLE: **EROSION AND SEDIMENT CONTROL (DURING CONSTRUCTION) PLAN**

CONSULTING ENGINEER: **JFIVE DEVELOPMENTS LTD.**
 1 Parker Crt., Barrie, On L4N 2A6
 Cell: 705-794-0301 Email: john.foster@jfive.com

TOWN OF MIDLAND

DRAWN: GEMCAD INC.	SCALE:	DWG. No.	PROJECT No.
DESIGNED: J.F.	HOR: 1:500	ESC-1	077
CHECKED: J.F.	DATE: JULY 2017		

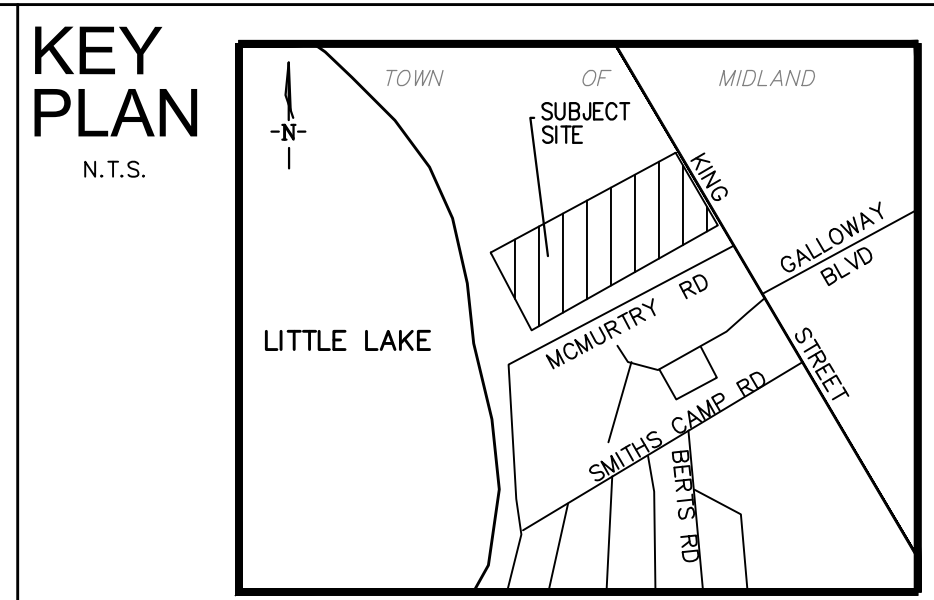
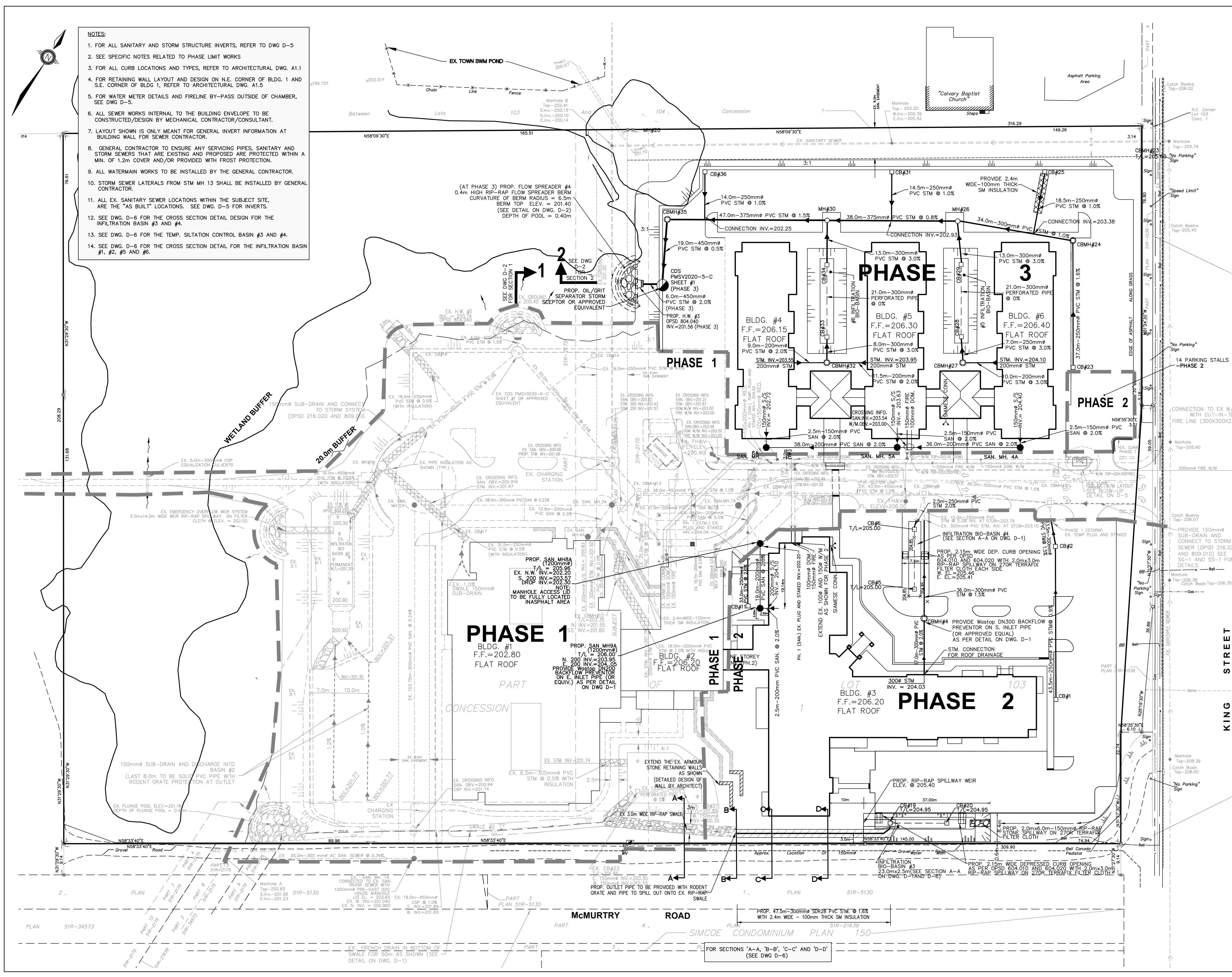


KING STREET

McMURTRY ROAD

PROF. 47.5m-300mm SDR28 PVC STM @ 1.6% WITH 2.4m WIDE - 100mm THICK SM INSULATION

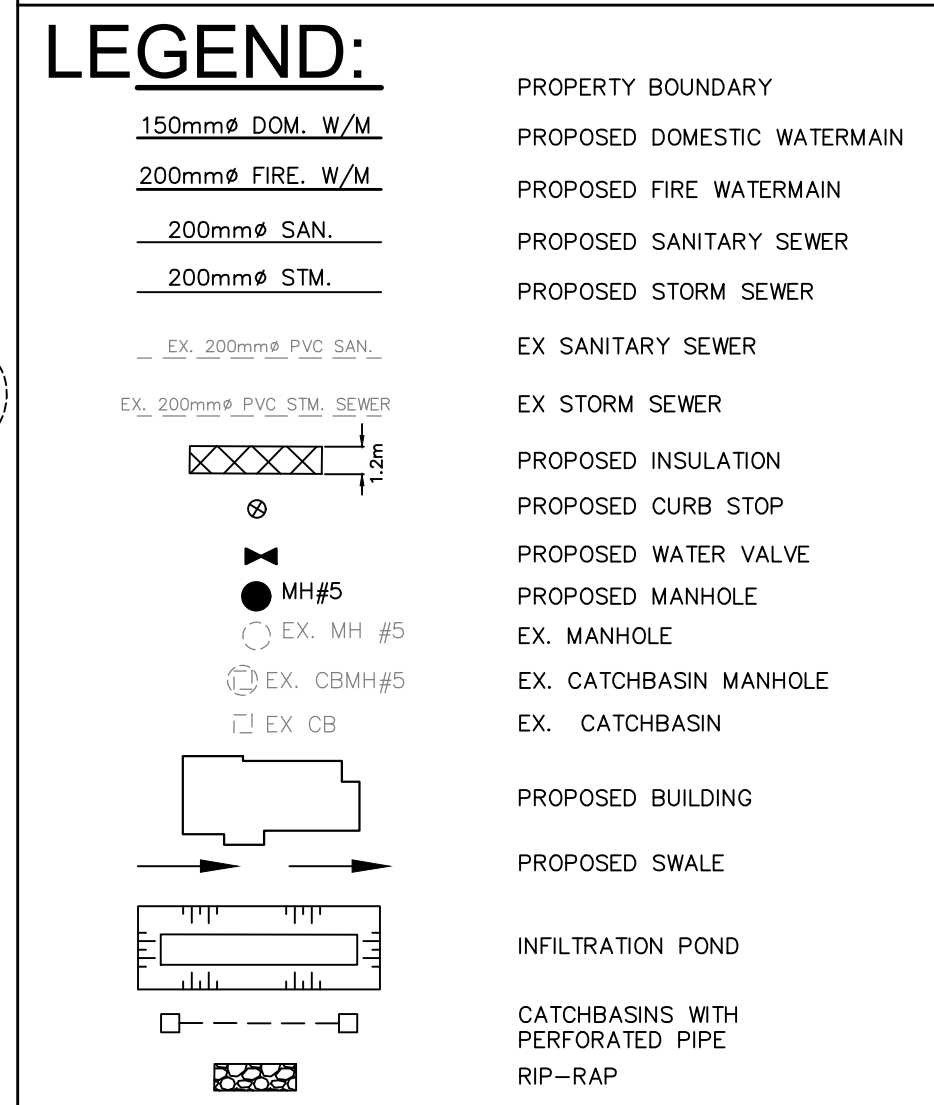
- NOTES:**
- FOR ALL SANITARY AND STORM STRUCTURE INVERTS, REFER TO DWG D-5
 - SEE SPECIFIC NOTES RELATED TO PHASE LIMIT WORKS
 - FOR ALL CURB LOCATIONS AND TYPES, REFER TO ARCHITECTURAL DWG. A1.1
 - FOR RETAINING WALL LAYOUT AND DESIGN ON N.E. CORNER OF BLDG. 1 AND S.E. CORNER OF BLDG. 1, REFER TO ARCHITECTURAL DWG. A1.5
 - FOR WATER METER DETAILS AND FIRELINE BY-PASS OUTSIDE OF CHAMBER, SEE DWG D-5.
 - ALL SEWER WORKS INTERNAL TO THE BUILDING ENVELOPE TO BE CONSTRUCTED/DESIGN BY MECHANICAL CONTRACTOR/CONSULTANT.
 - LAYOUT SHOWN IS ONLY MEANT FOR GENERAL INVERT INFORMATION AT BUILDING WALL FOR SEWER CONTRACTOR.
 - GENERAL CONTRACTOR TO ENSURE ANY SERVICING PIPES, SANITARY AND STORM SEWERS THAT ARE EXISTING AND PROPOSED ARE PROTECTED WITHIN A MIN. OF 1.2m COVER AND/OR PROVIDED WITH FROST PROTECTION.
 - ALL WATERMAIN WORKS TO BE INSTALLED BY THE GENERAL CONTRACTOR.
 - STORM SEWER LATERALS FROM STM MH 13 SHALL BE INSTALLED BY GENERAL CONTRACTOR.
 - ALL EX. SANITARY SEWER LOCATIONS WITHIN THE SUBJECT SITE, ARE THE "AS BUILT" LOCATIONS. SEE DWG. D-5 FOR INVERTS.
 - SEE DWG. D-6 FOR THE CROSS SECTION DETAIL DESIGN FOR THE INFILTRATION BASIN #3 AND #4.
 - SEE DWG. D-6 FOR THE TEMP. SILTATION CONTROL BASIN #3 AND #4.
 - SEE DWG. D-6 FOR THE CROSS SECTION DETAIL FOR THE INFILTRATION BASIN #1, #2, #5 AND #6.



SURVEY NOTES:
 LEGAL AND TOPOGRAPHIC INFORMATION OBTAINED FROM PRESTON, NICHOLSON AND HARVEY O.L.S. - FILE 08-3968

BENCHMARK: 200.57m
 TOP OF IB LOCATED AT THE S.W. CORNER OF SUBJECT PROPERTY HAVING AN ELEVATION OF 200.57m

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ITEM	DESCRIPTION	DATE	BY	APPRVD
3	REVISED SPA COMMENTS	MAR 31/22	J.F.	J.F.
2	PHASE 2-ISSUED FOR FND. PERMIT	MAR 4/22	J.F.	J.F.
1	SITE PLAN AMENDMENT PHASE 2	OCT 26/21	J.F.	J.F.

SCHEDULE OF REVISIONS

NO.	DESCRIPTION	DATE	BY	APPRVD
3	REVISED SPA COMMENTS	MAR 31/22	J.F.	J.F.
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1	SITE PLAN AMENDMENT PHASE 2	OCT 26/21	J.F.	J.F.

TOWN OF MIDLAND APPROVAL

ENGINEER'S SEAL

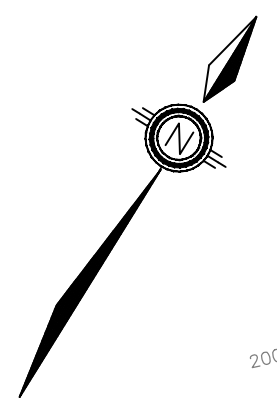
**VILLA RETIREMENT LODGE
 PHASE 2
 #658 KING STREET
 TOWN OF MIDLAND**

TITLE: **SITE SERVICING PLAN**

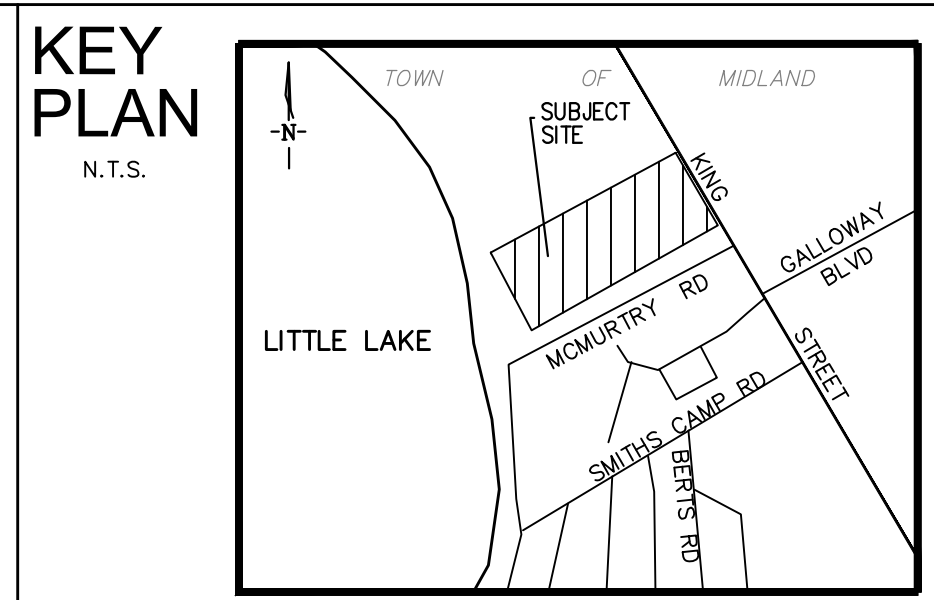
CONSULTING ENGINEER: **JFIVE DEVELOPMENTS LTD.**

1 Parker Crt., Barrie, ON L4N 2A6
 Cell: 705-794-0301 Email: john.foxtor@jfive.com

	TOWN OF MIDLAND
DRAWN: GEMCAD INC.	SCALE:
DESIGNED: J.F.	DWG. No. SS-1
CHECKED: J.F.	PROJECT No. 077
DATE: JULY 2017	HOR: 1:500



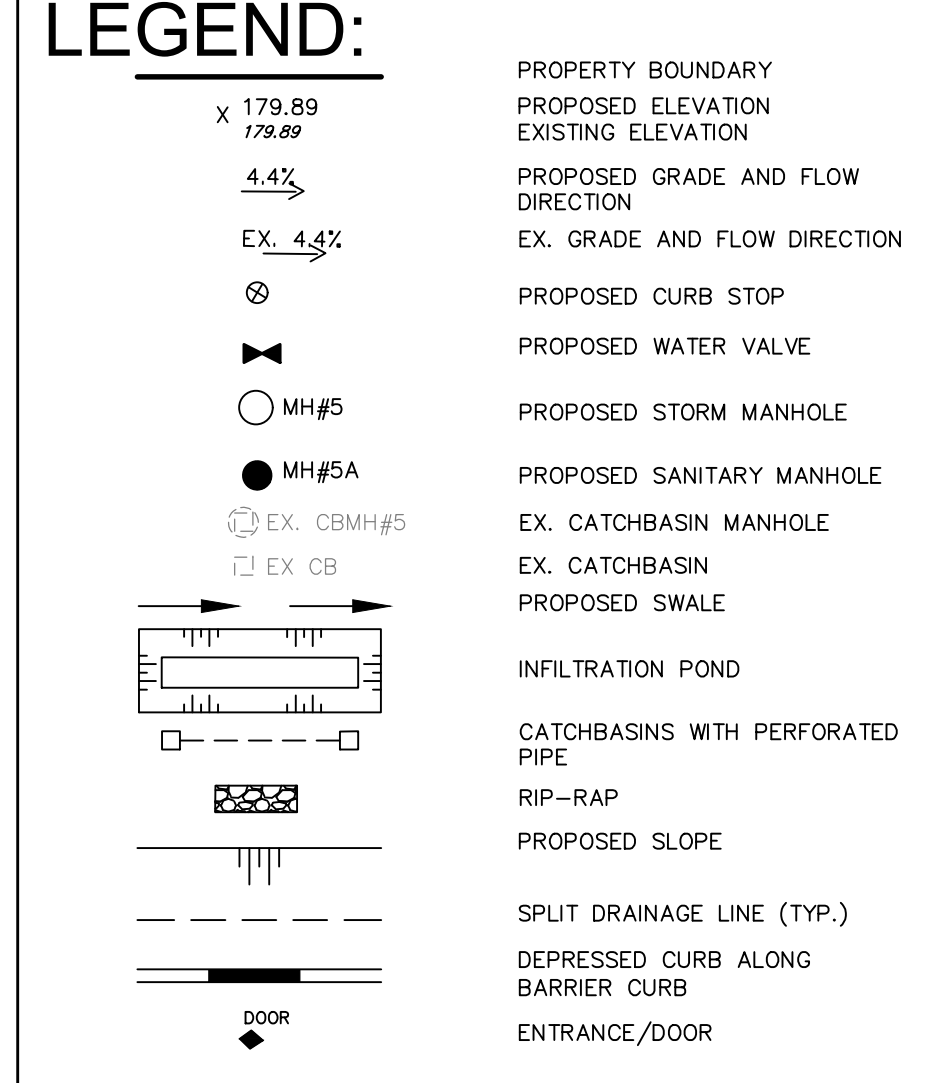
- NOTES:**
1. FOR ALL SANITARY AND STORM STRUCTURE INVERTS, REFER TO DWG D-5
 2. FOR PHASING LIMITS, REFER TO ARCHITECTURAL PLAN DWG. A1.1
 3. FOR ALL CURB LOCATIONS AND TYPES, REFER TO ARCHITECTURAL DWG. A1.2
 4. FOR RETAINING WALL LAYOUT AND DESIGN ON N.E. CORNER OF BLDG. 1 AND SE CORNER OF BLDG 1, REFER TO ARCHITECTURAL DWG. A1.5
 5. FOR SIDEWALK AND WALKWAY TYPES AND LOCATIONS REFER TO ARCHITECTURAL DWG. A1.1
 6. ALL GRADES BY SITE SERVICING CONTRACTOR HAVE BEEN RAISED TO WITHIN 0.6m OF BELOW FINISHED GRADES SHOWN ON THIS PLAN TO APPROX. 3.0m OFF THE PROPOSED BUILDING WALLS.
 7. SEE DWG D-6 FOR THE CROSS SECTION DETAIL DESIGN FOR THE INFILTRATION BASIN #3 AND #4.
 8. SEE DWG D-6 FOR THE TEMP. SILTATION CONTROL BASIN #3 AND #4.
 9. SEE DWG D-1 FOR THE CROSS SECTION DETAIL DESIGN FOR THE INFILTRATION BASIN #1, #2, #5 AND #6.



SURVEY NOTES:
LEGAL AND TOPOGRAPHIC INFORMATION OBTAINED FROM PRESTON, NICHOLSON AND HARVEY O.L.S. - FILE 08-3968

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1	SITE PLAN AMENDMENT PHASE 2	OCT 26/21	J.F.	J.F.

SCHEDULE OF REVISIONS

TOWN OF MIDLAND APPROVAL ENGINEER'S SEAL

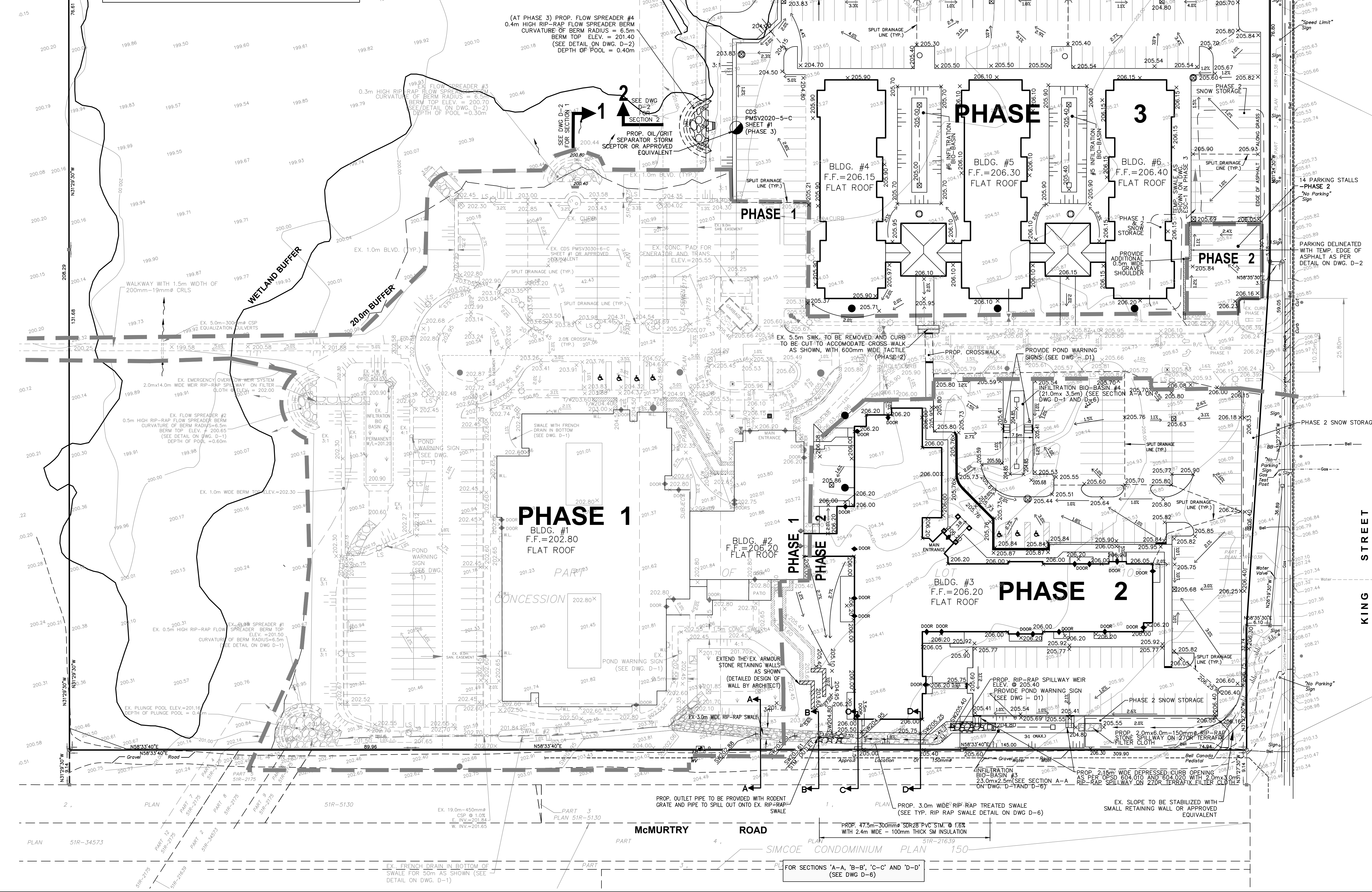
PROJECT: VILLA RETIREMENT LODGE PHASE 2
#658 KING STREET
TOWN OF MIDLAND

TITLE: **SITE GRADING PLAN**

CONSULTING ENGINEER: **JFIVE DEVELOPMENTS LTD.**
1 Parker Crt., Barrie, ON L4N 2A6
Cell: 705-794-0301 Email: john.foster@five.com

TOWN OF MIDLAND

DRAWN: GEMCAD INC.	SCALE:	DWG. No.	PROJECT No.
DESIGNED: J.F.	HOR: 1:500	SG-1	077
CHECKED: J.F.	DATE: JULY 2017		



McMURTRY ROAD SIMCOE CONDOMINIUM PLAN 150

PLAN 51R-34573

EX. FRENCH DRAIN IN BOTTOM OF SWALE FOR 50m AS SHOWN (SEE DETAIL ON DWG. D-1)

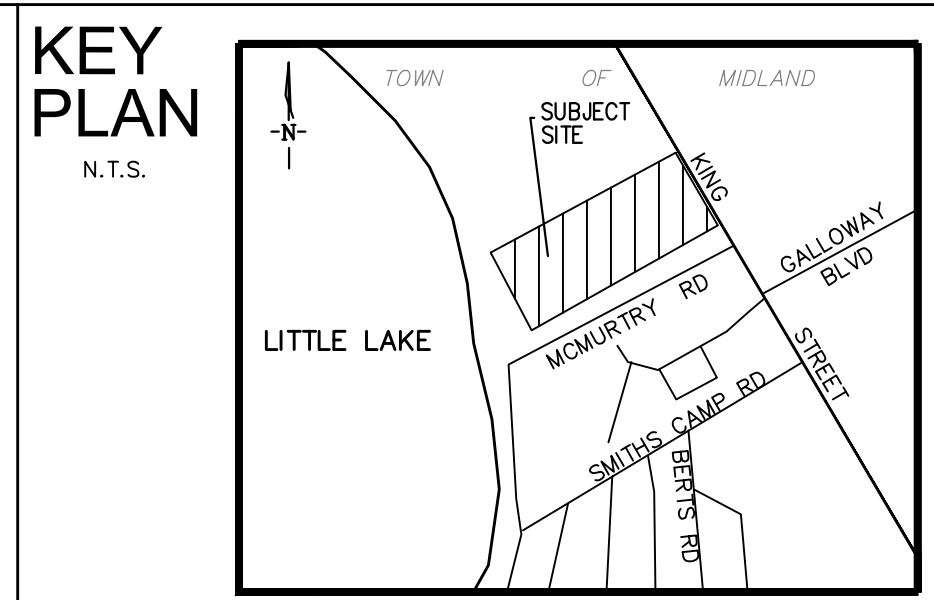
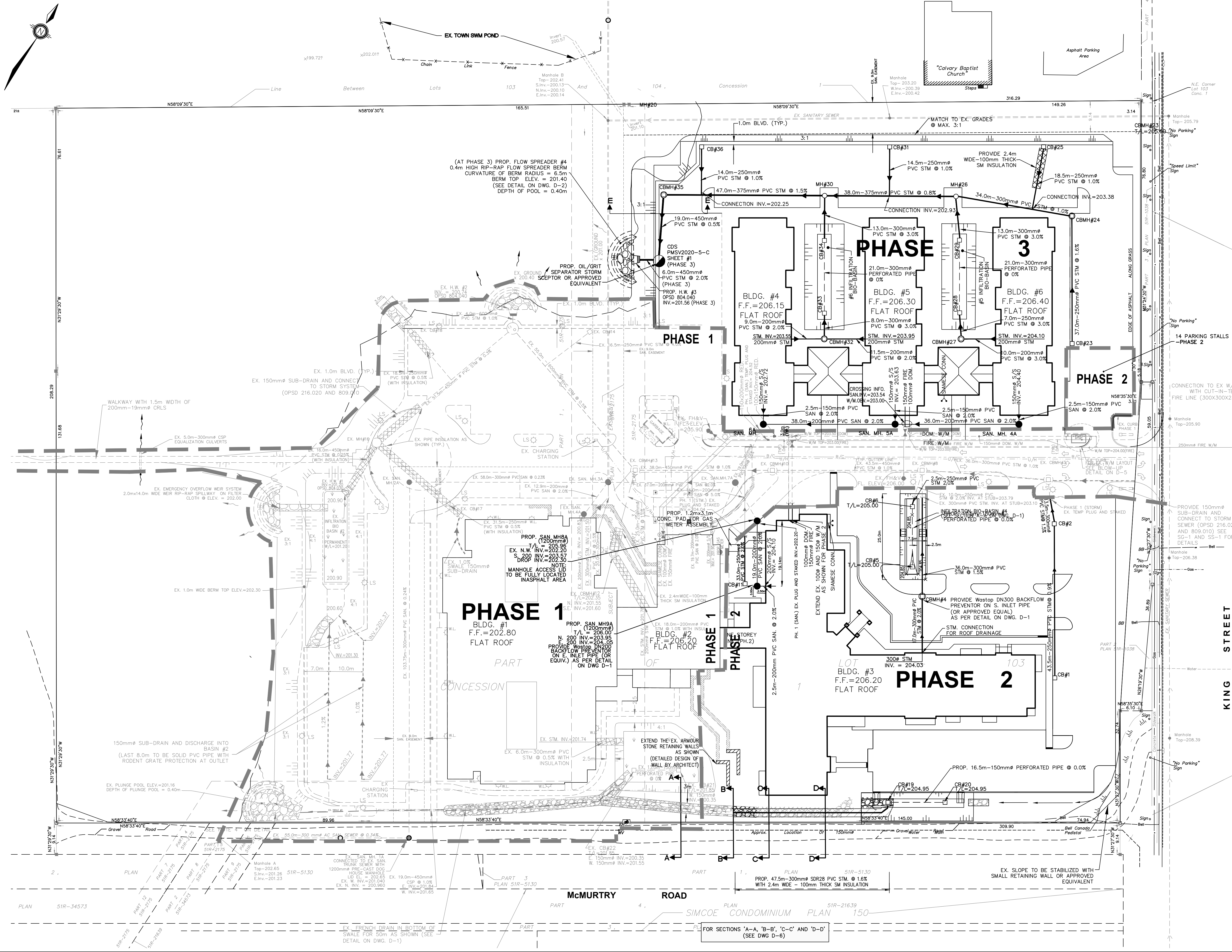
PROP. OUTLET PIPE TO BE PROVIDED WITH RODENT GRATE AND PIPE TO SPILL OUT ONTO EX. RIP-RAP SWALE

PROP. 3.0m WIDE RIP-RAP TREATED SWALE (SEE TYP. RIP-RAP SWALE DETAIL ON DWG. D-6)

PROP. 37.5m x 300mm SDR28 PVC S.W. (1.2% WITH 2.4m WIDE - 100mm THICK SM INSULATION

PROP. 2.15m WIDE DEPRESSED CURB OPENING AS PER CPD 604.070 AND 604.020 WITH 2.0m x 3.0m RIP-RAP SPILLWAY ON 27OR TERRAZZO FILTER CLOTH

EX. SLOPE TO BE STABILIZED WITH SMALL RETAINING WALL OR APPROVED EQUIVALENT



SURVEY NOTES:
 LEGAL AND TOPOGRAPHIC INFORMATION OBTAINED FROM PRESTON, NICHOLSON AND HARVEY O.L.S. - FILE 08-3968

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LEGEND:

—	PROPERTY BOUNDARY
—	EX. HYDRO CONDUIT
—	EX. GAS MAIN
—	PROPOSED GAS MAIN
—	EXISTING BELL/CABLE TV
—	PROPOSED DOMESTIC WATERMAIN
—	PROPOSED FIRE WATERMAIN
—	PROPOSED SANITARY SEWER
—	PROPOSED STORM SEWER
—	EX. SANITARY SEWER
—	EX. STORM SEWER
—	PROPOSED CURB STOP
—	PROPOSED WATER VALVE
—	EXISTING LIGHT STANDARD
—	PROPOSED LIGHT STANDARD
—	PROPOSED MANHOLE
—	EX. MANHOLE
—	EX. CATCHBASIN MANHOLE
—	EX. CATCHBASIN
—	PROPOSED CATCHBASIN
—	EXISTING BUILDING
—	PROPOSED BUILDING
—	INFILTRATION POND
—	CATCHBASIN WITH PERFORATED PIPE
—	RIP-RAP

ITEM	DESCRIPTION	DATE	BY	APPRVD
3	REVISED SPA COMMENTS	MAR 31/22	J.F.	J.F.
2	PHASE 2-ISSUED FOR FND. PERMIT	MAR 4/22	J.F.	J.F.
1	SITE PLAN AMENDMENT PHASE 2	OCT 26/21	J.F.	J.F.

SCHEDULE OF REVISIONS

TOWN OF MIDLAND APPROVAL: _____ ENGINEER'S SEAL: _____

PROJECT: **VILLA RETIREMENT LODGE PHASE 2**
 #658 KING STREET
 TOWN OF MIDLAND

TITLE: **COMPOSITE UTILITY PLAN**
 CONSULTING ENGINEER: **JFIVE DEVELOPMENTS LTD.**
 1 Parker Crt., Barrie, ON L4N 2A6
 Cell: 705-794-0301 Email: john.foster@jfive.com

	TOWN OF MIDLAND	
DRAWN: GEMCAD INC.	SCALE:	DWG. No.
DESIGNED: J.F.	HOR: 1:500	PROJECT No.
CHECKED: J.F.	DATE: JULY 2017	CUP-1 077

ENGINEERING NOTES:

- UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE FOLLOWING REQUIREMENTS SHALL APPLY TO THE WORKS.
- PROVIDE AND INSTALL ALL WORK AS REQUIRED FOR A COMPLETE AND FUNCTIONING INSTALLATION.
- ALL MECHANICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES STANDARDS, RULES AND REGULATIONS. THE WORK SHALL MEET THE REQUIREMENT OF ALL AUTHORITIES HAVING JURISDICTION, AND SHALL MEET THE DESIGN INTENT.
- ALL WORK AND MATERIALS WITHIN THE PROPERTY BOUNDARIES SHALL CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE. WHERE THERE IS A CONFLICT BETWEEN THE FOLLOWING NOTES AND SPECIFICATIONS AND THE ONTARIO BUILDING CODE, THE DECISION OF THE CHIEF BUILDING OFFICIAL WILL GOVERN.
- LOCATIONS PROVIDED FOR EXISTING SERVICES AND UTILITIES ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY UTILITY LOCATES PRIOR TO COMMENCING CONSTRUCTION.
- FOR ALL SWALE CONSTRUCTION GRADING DETAILS, REFER TO THESE DRAWINGS.
- FOR ALL SITE GRADING DESIGN REFER TO DWG. SG-1. FOR ALL SITE SERVING DESIGN, REFER TO DWG. SS-1.
- ALL CORRUGATED STEEL PIPE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND AS PER OPSD 801.01 SQUARE ENDS AND OPSD 802.04, TYPE I. ALL CSP TO BE 2.0mm THICKNESS GAUGE.
- SEWER PIPE MATERIAL (IF APPLICABLE)
POLYVINYL CHLORIDE PIPE SHALL CONFORM TO CSA-B-128.1 AND WITH CSA-B-182.2 AND CSA-B-182.3, PIPE SHALL BE SDR-35 AND ALL SANITARY SERVICE LATERAL TO BE SDR-28.
- SEWER BEDDING WILL CONFORM TO OPSD 802.03 FOR RIGID PIPE INSTALLATION AND OPSD 802.010 FOR FLEXIBLE PIPE INSTALLATION. NATIVE MATERIAL USED FOR BACKFILL SHALL BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER.
- ALL TRENCHES ARE TO BE BACK FILLED WITH NATIVE MATERIAL AND COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY. IN ADDITION, ALL STRUCTURES WITHIN TRAVELLED PORTION OF THE ROAD AND PARKING AREAS SHALL HAVE NATIVE 1:4 FROST TAPERS FROM FROST LINE TO SUB-GRADE.
- THE PROPOSED YARD/DRIVEWAY/PARKING TO REQUIRE THE REMOVAL OF ALL ORGANICS, PROVISION OF ENGINEERED FILL TO UNDERSIDE OF SUB-GRADE AND PLACEMENT OF GRANULAR MATERIAL AS FOLLOWS:
a) STRIP ORGANICS
b) ENGINEERED FILL TO 98% SPDD COMPACTION TO UNDERSIDE OF GRANULARS
c) PLACEMENT OF 300mm GRANULAR 'B' MATERIAL
d) PLACEMENT OF 150mm GRANULAR 'A' MATERIAL
ALL MATERIALS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DRY DENSITY. CONTRACTOR TO COMPLETE ALL COMPACTION TESTING AND SUBMIT SUCH TO SITE ENGINEER FOR REVIEW AND APPROVAL/ACCEPTANCE.
- THE GRANULAR PARKING AREA IN DRIVEWAYS SHALL BE MAINTAINED WITH A STABLE SURFACE WHICH IS TREATED TO PREVENT THE RAISING OF DUST OR LOOSE PARTICLES.

- ALL DRAINAGE WORKS REQUIRE SEDIMENT AND EROSION CONTROL SATISFACTORY TO THE APPROVAL AGENCIES DURING CONSTRUCTION PERIODS. PRIOR TO CONSTRUCTION PROCEDURE, SEDIMENT AND EROSION CONTROLS NEED TO BE IN PLACE FOR THE MINIMIZATION OF EROSION AND CONTROL OF ANY EROSION WHICH MIGHT OCCUR DURING CONSTRUCTION. THE OWNER SHALL ENSURE ROUTINE INSPECTIONS FOR THE SEDIMENT AND EROSION CONTROL DEVICES TO MAINTAIN THEIR EFFICIENCY AS PER DESIGN AND FIELD CONDITIONS. THE OWNER/DEVELOPER IS TO ENSURE THE CONTRACTOR ADHERES TO THE BEST CONSTRUCTION PRACTICES AND THE EROSION AND SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION.
- ALL STRUCTURE DETAIL INVERTS AND TOP ELEVATIONS ARE PROVIDED ON DWG. D-5.
- WATERMAIN AND APPURTENANCES SHALL BE AS PER TOWN SPECIFICATIONS. (IF APPLICABLE)
A) WATERMANS UP TO 250mm DIA. TO BE POLYVINYL CHLORIDE (PVC) IN ACCORDANCE WITH A.W.W.A. C-900, CLASS 150. ALL PVC WATERMANS SHALL SPECIFY SDR-18, BLUE BRUTE. ALL TRACER WIRE TO BE 12ga. T.W. WHITE COLOUR AND BROUGHT TO GRADE AT ALL VALVES AND HYDRANTS.
B) ALL FITTINGS AND ACCESSORIES/APPURTENANCES ARE TO BE APPROVED BY THE DEVELOPER'S ENGINEER AND SHALL BE COMPATIBLE WITH CLASS 'ANF' TYPE OF PIPE WHICH WILL BE MANUFACTURED AND FURNISHED BY THE PIPE SUPPLIER, AND SHALL HAVE BELL AND/OR SPIGOT CONFIGURATION SUITABLE FOR THE PIPE IN USE. ALL FITTINGS SHALL CONFORM TO A.W.W.A. C11/A21.10 AND C-900 SPECIFICATIONS.
C) WATERMANS TO BE EMBEDDED IN GRANULAR 'A' FROM 150mm BELOW INVERT TO 300mm ABOVE OVERT AS PER OPSD 802.010.
D) WATERMANS AND SERVICE CONNECTIONS REQUIRE A HORIZONTAL SEPARATION FROM SEWERS OF 2.5m. IN CASES WHERE THEY MUST CROSS SEWER SERVICES, A PREFERABLY CROSSING ABOVE THE SEWER BY 0.5m CLEARANCE BETWEEN PIPES.
E) ALL CROSSING PIPES SHALL BE SUPPORTED. WATERMANS SHALL HAVE A 2.5m HORIZONTAL CLEARANCE FROM OTHER UTILITIES.
F) VALVE BOXES TO BE MODEL 55L, 1220mm SLIDE WITH 125mm LIDS MARKED 'WATER' WATERMAIN VALVES TO BE CLOW. A.W.W.A. C-509 OPEN LEFT WITH ANCHOR TEES AND TI RODS.
G) MIN. DEPTH OF WATERMAIN FROM FINISHED GRADE TO TOP OF PIPE SHALL BE 1.7m OR 1.9m BELOW THE CENTRE LINE OF THE ROAD, WHICHEVER IS DEEPER. VERTICAL BENDS AND INSULATION MAY BE REQUIRED WHEN CROSSING UNDER THE ROADWAY DITCHES IF COVER IS LESS THAN 1.7m.
H) HYDRANT TO BE TOWN OF MIDLAND DESIGN AND INSTALLED WITH A HYDRANT SIGN AS PER TOWN STANDARDS AND INSTALLED AS PER OPSD 1105.01.
I) THE TOWN OF MIDLAND ENGINEERING DEPARTMENT INSPECTS ALL WORKS WITHIN THE MUNICIPAL R.O.W. THE TOWN BUILDING DEPARTMENT TO INSPECT ALL WORKS WITHIN THE SITE, ALL TO CONFORM TO TOWN STANDARDS.
J) ALL 'LIVE' TAPS ARE TO BE PERFORMED BY A QUALIFIED PERSON APPROVED BY THE DIRECTOR OF TECHNICAL SERVICES IN THE PRESENCE OF THE TOWN INSPECTOR.
K) ALL FITTINGS FOR WATERMAIN SHALL INCLUDE SACRIFICIAL CAPS, CATHODIC PROTECTION AND ANODES. FOR DETAILS OF PROTECTION REQUIREMENTS, REFER TO TOWN DEVELOPMENT STANDARDS FEB. 2014, SECTION 11.0 WATER SYSTEM.

EROSION CONTROL NOTES

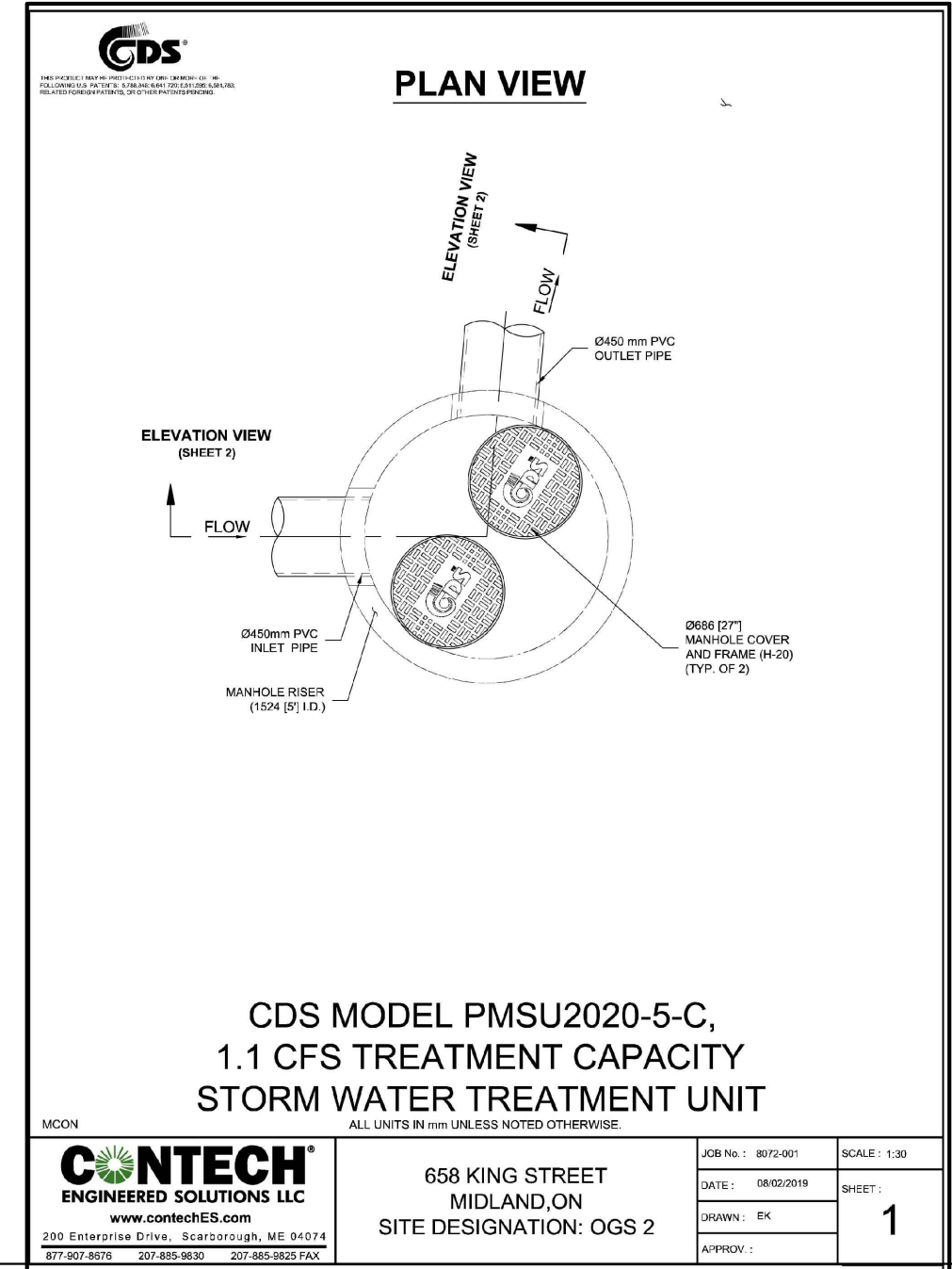
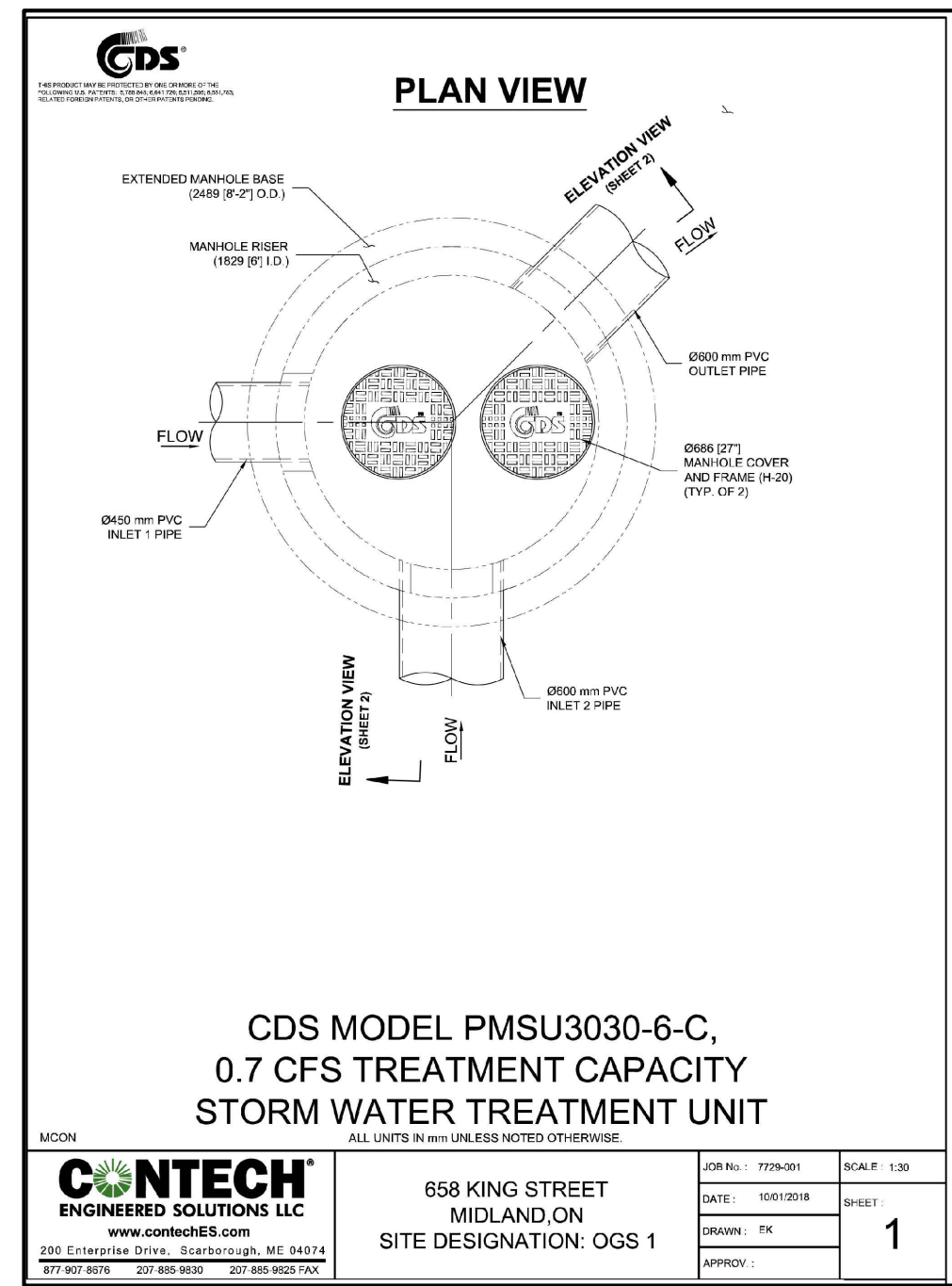
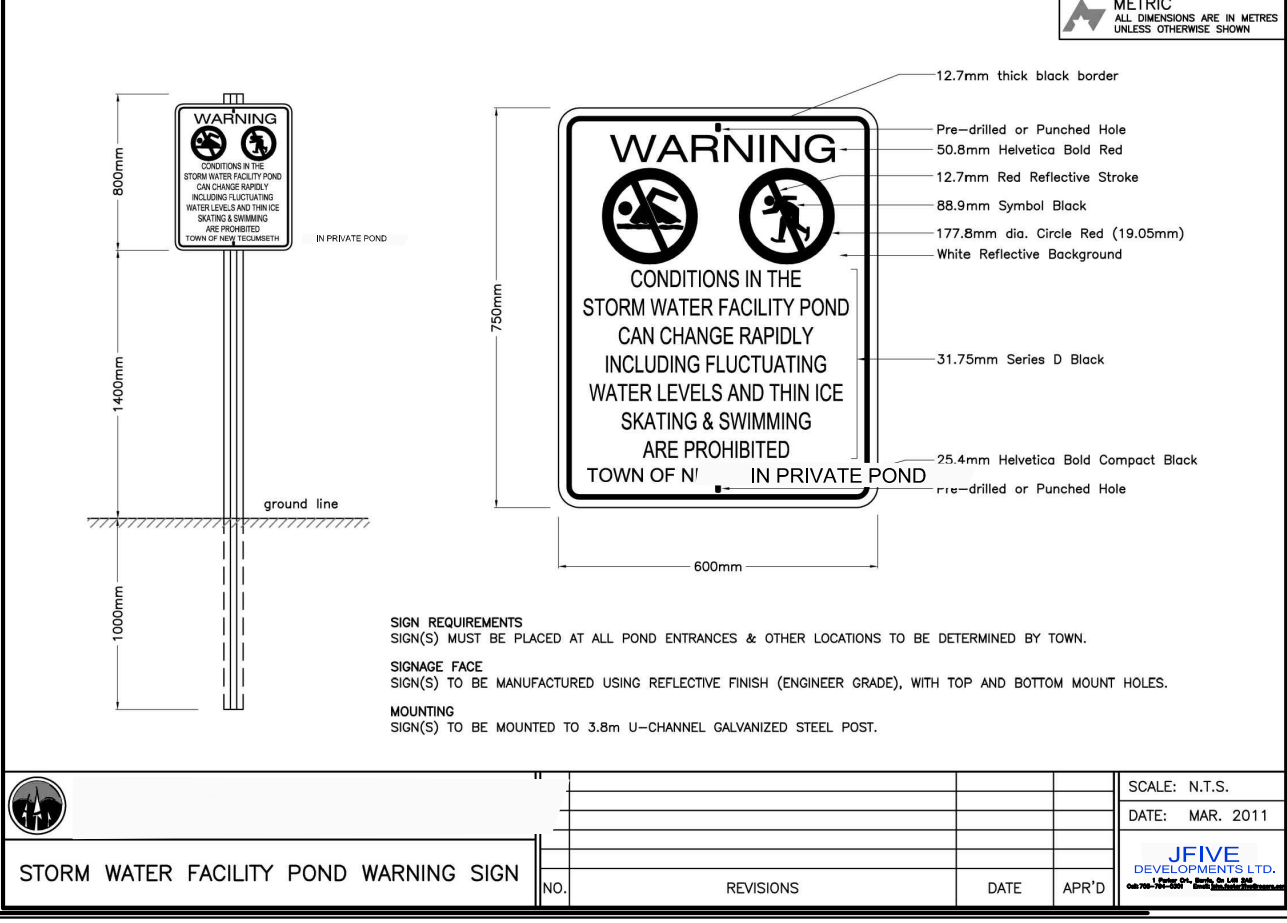
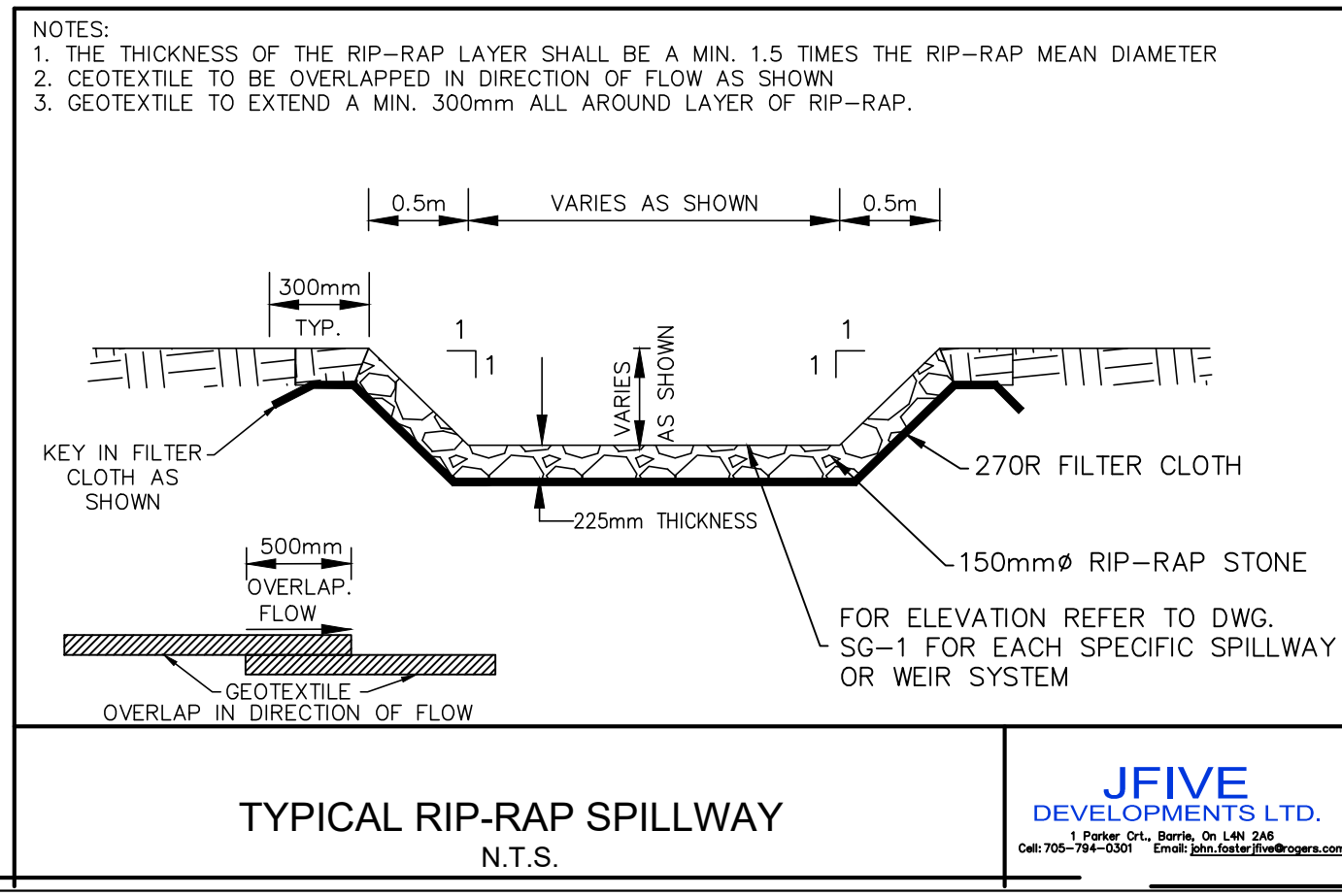
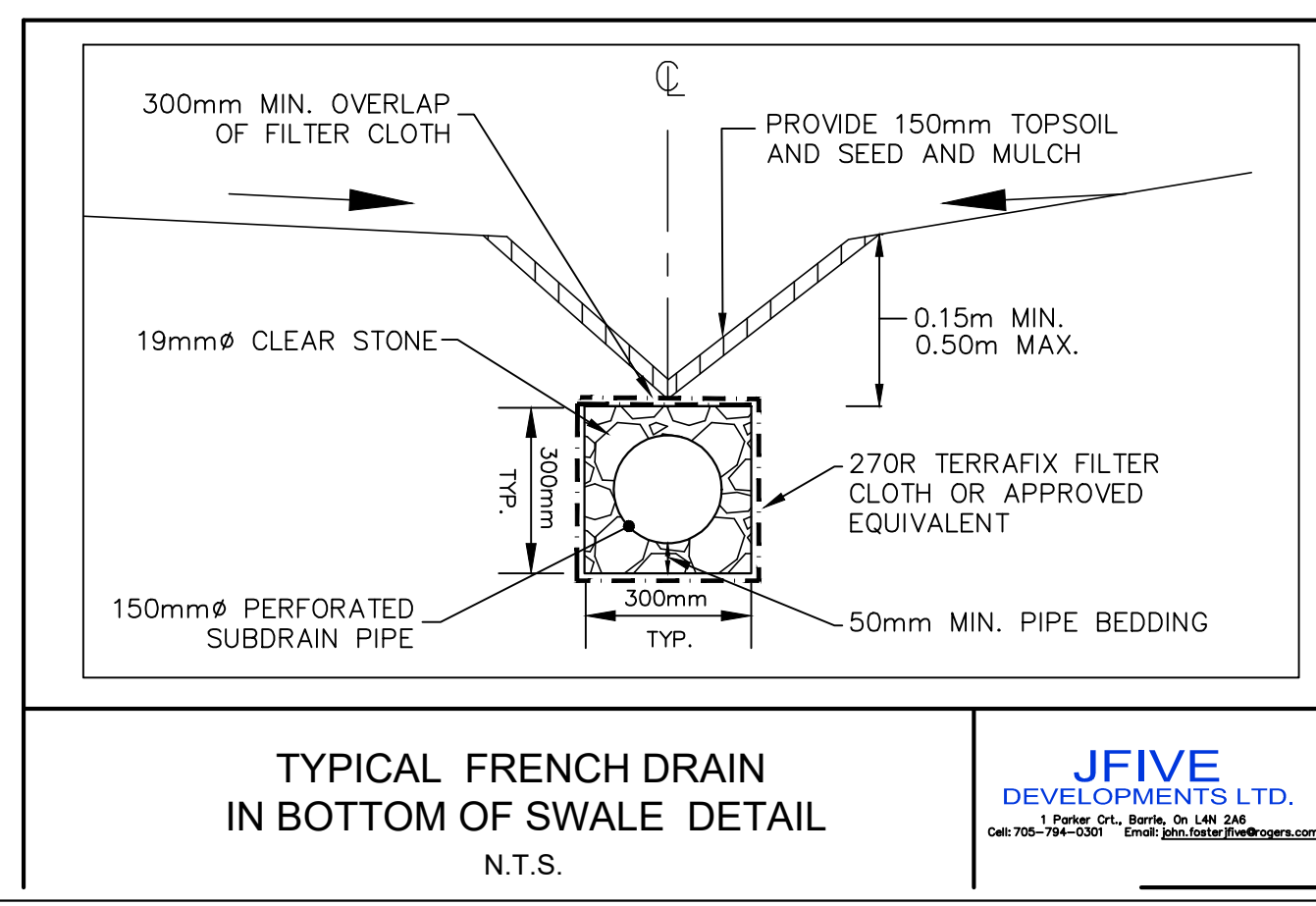
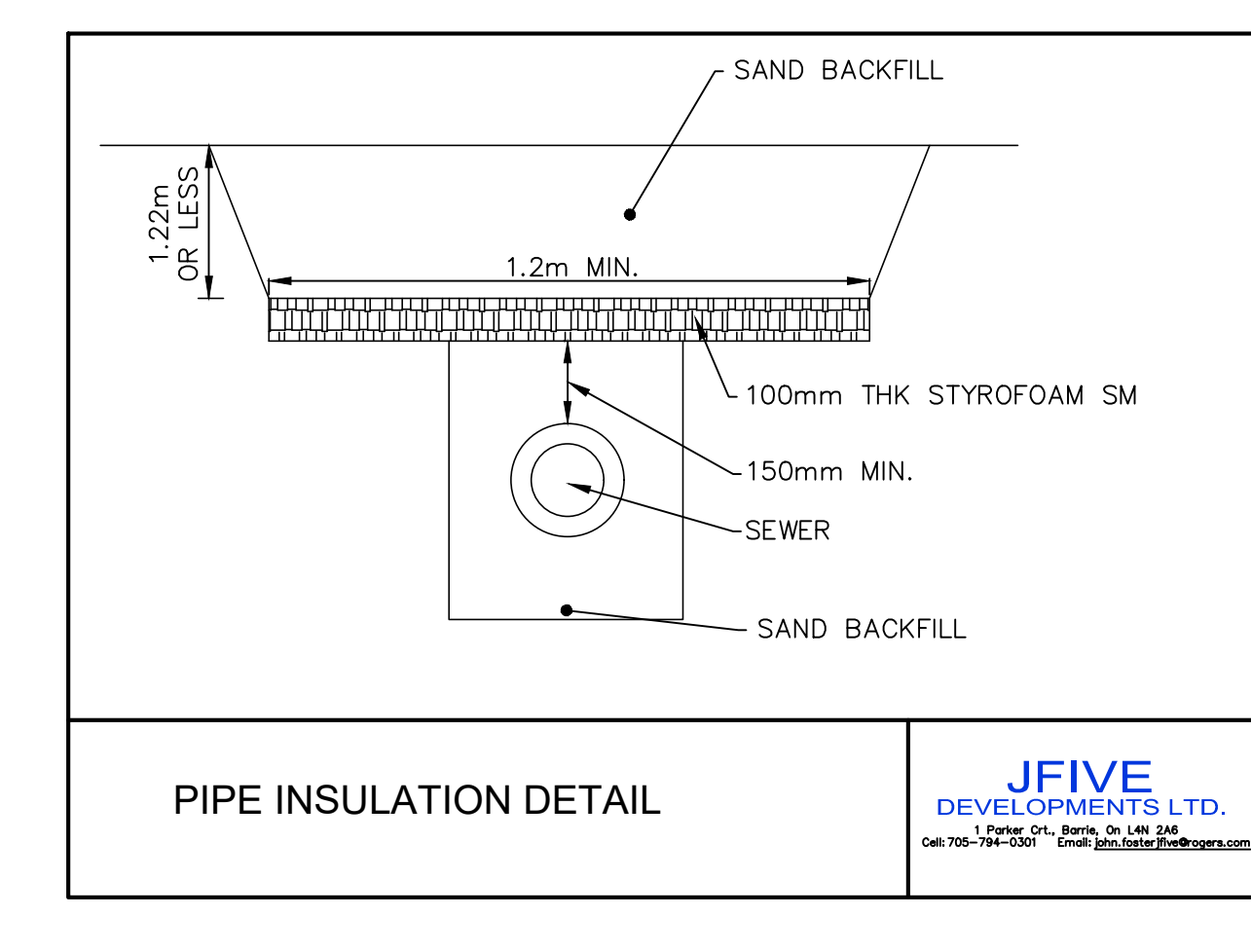
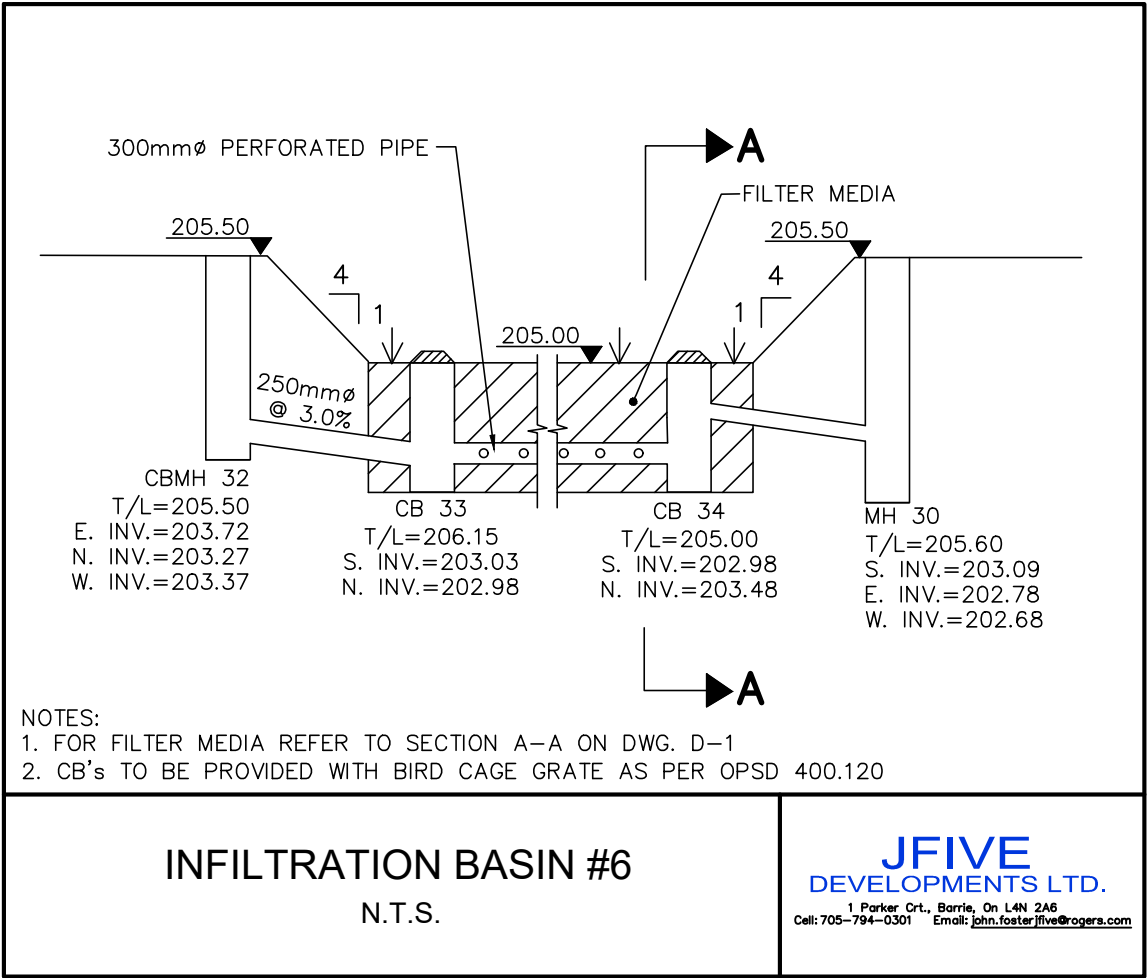
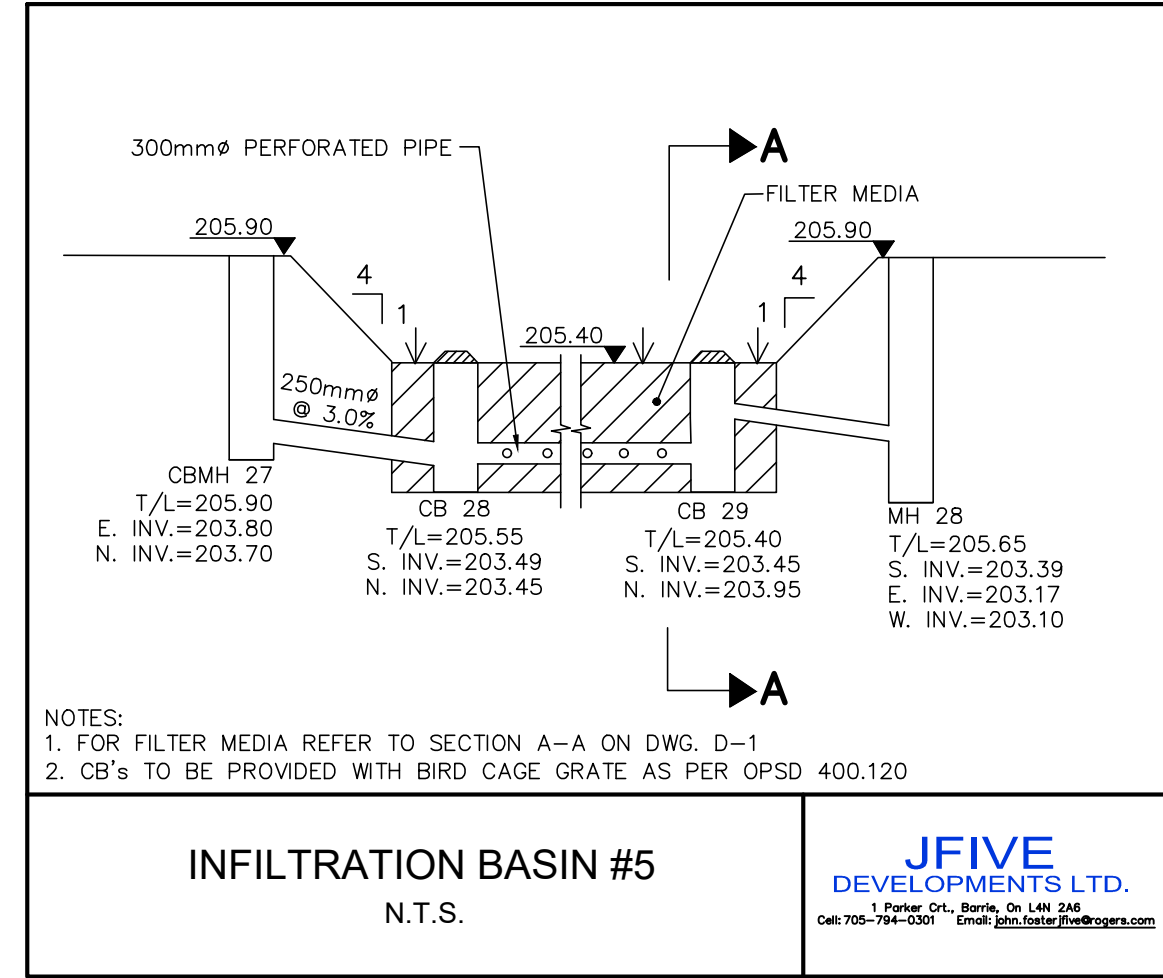
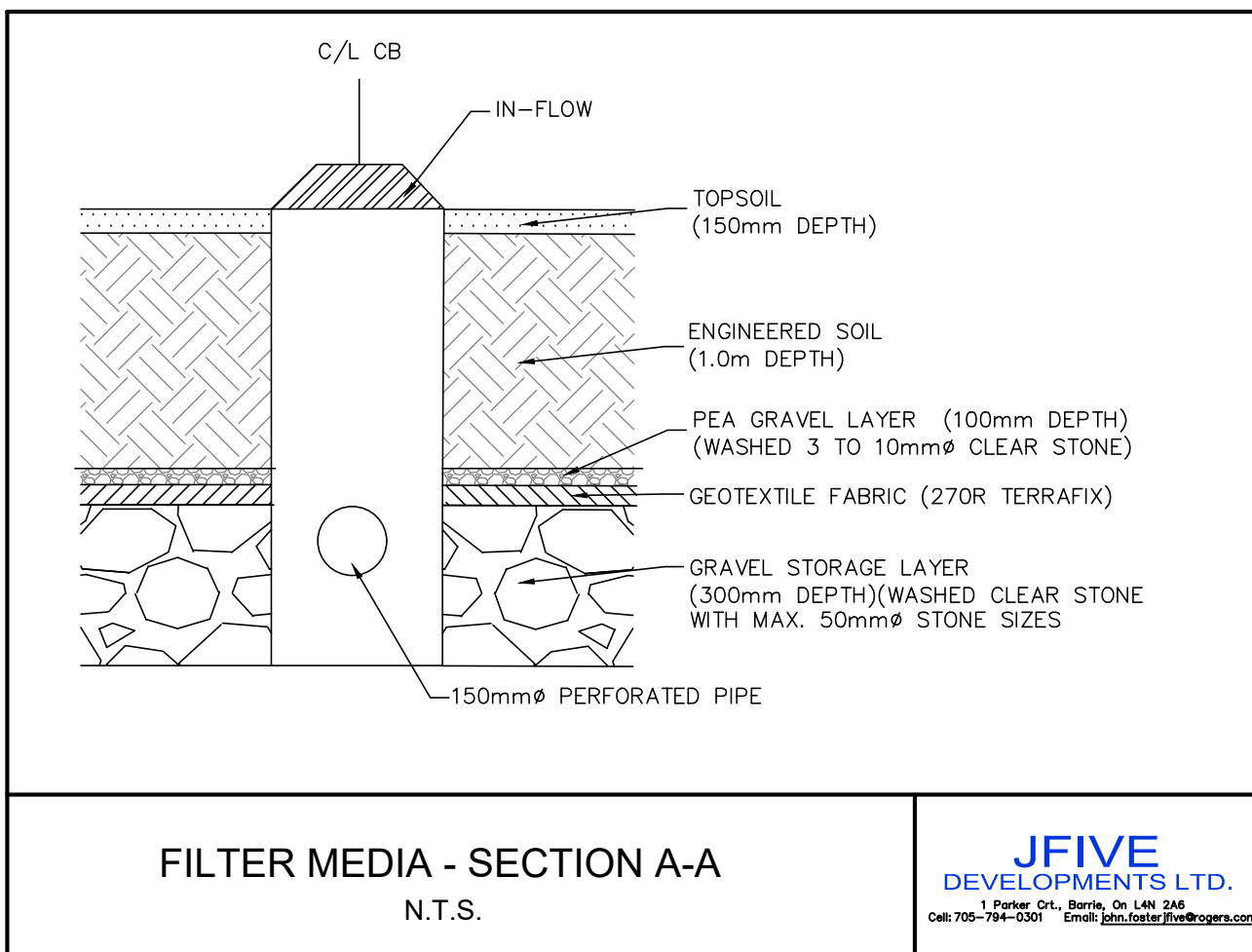
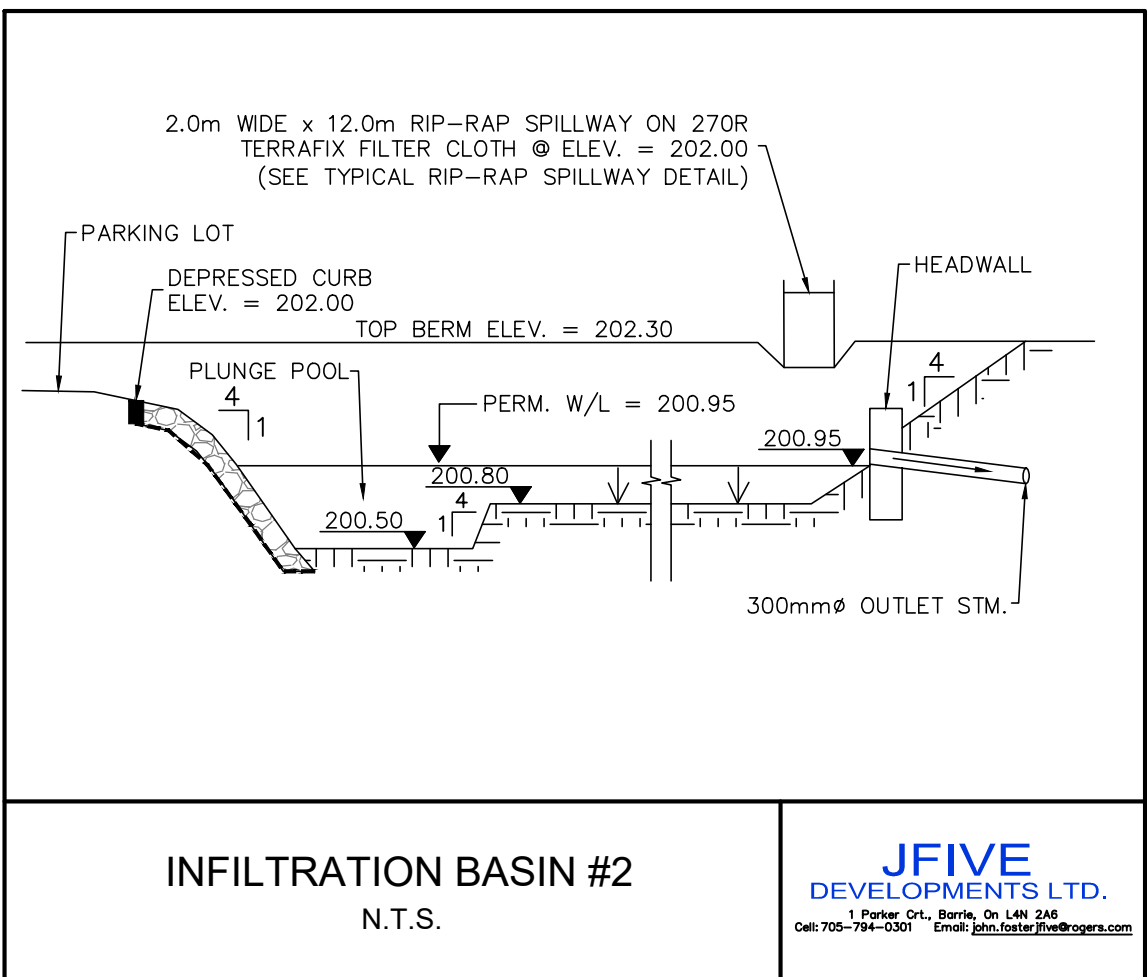
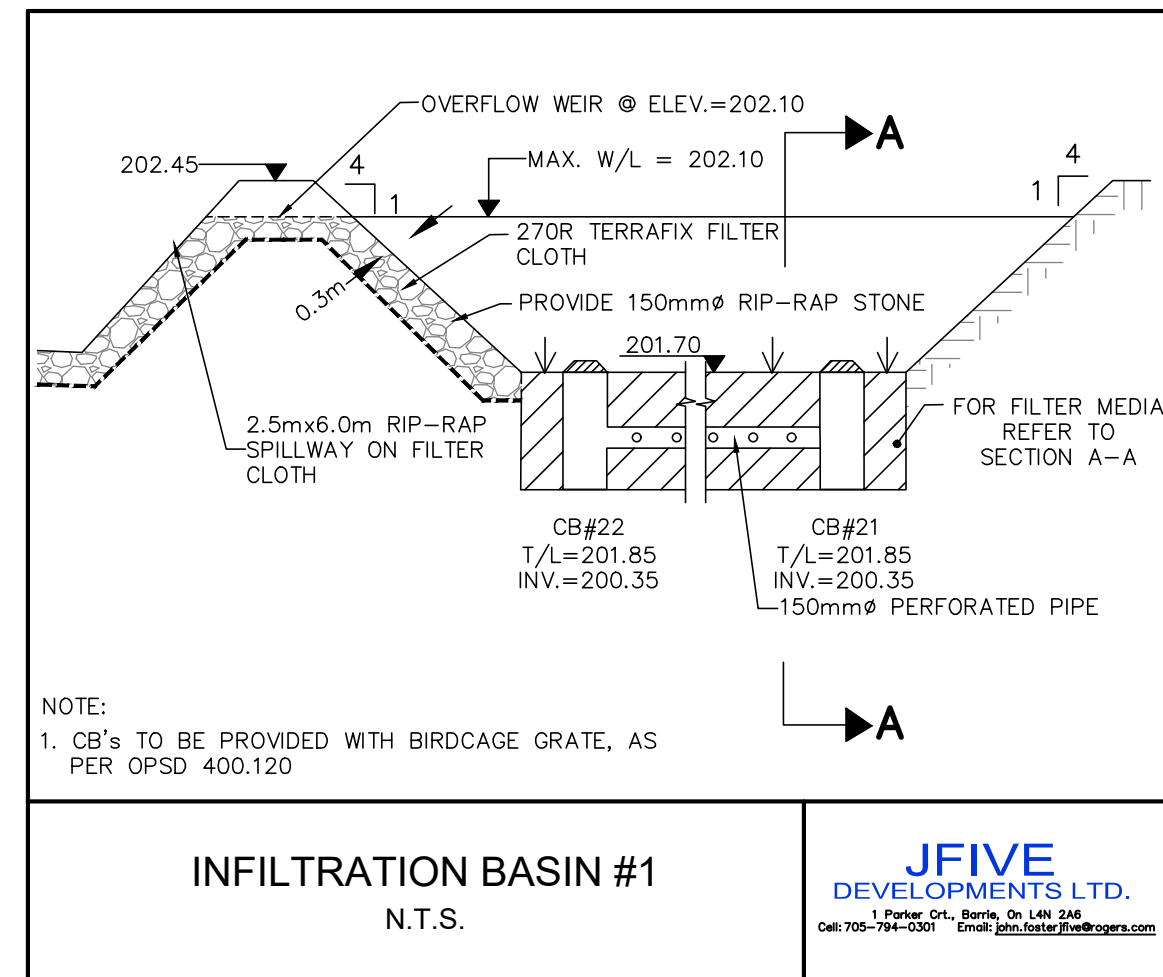
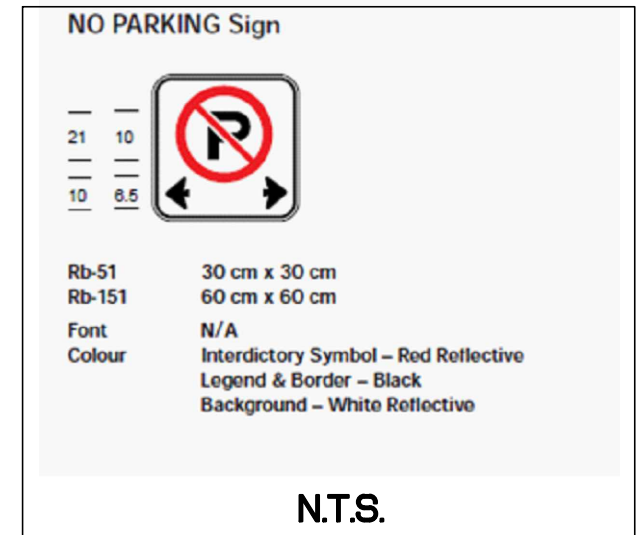
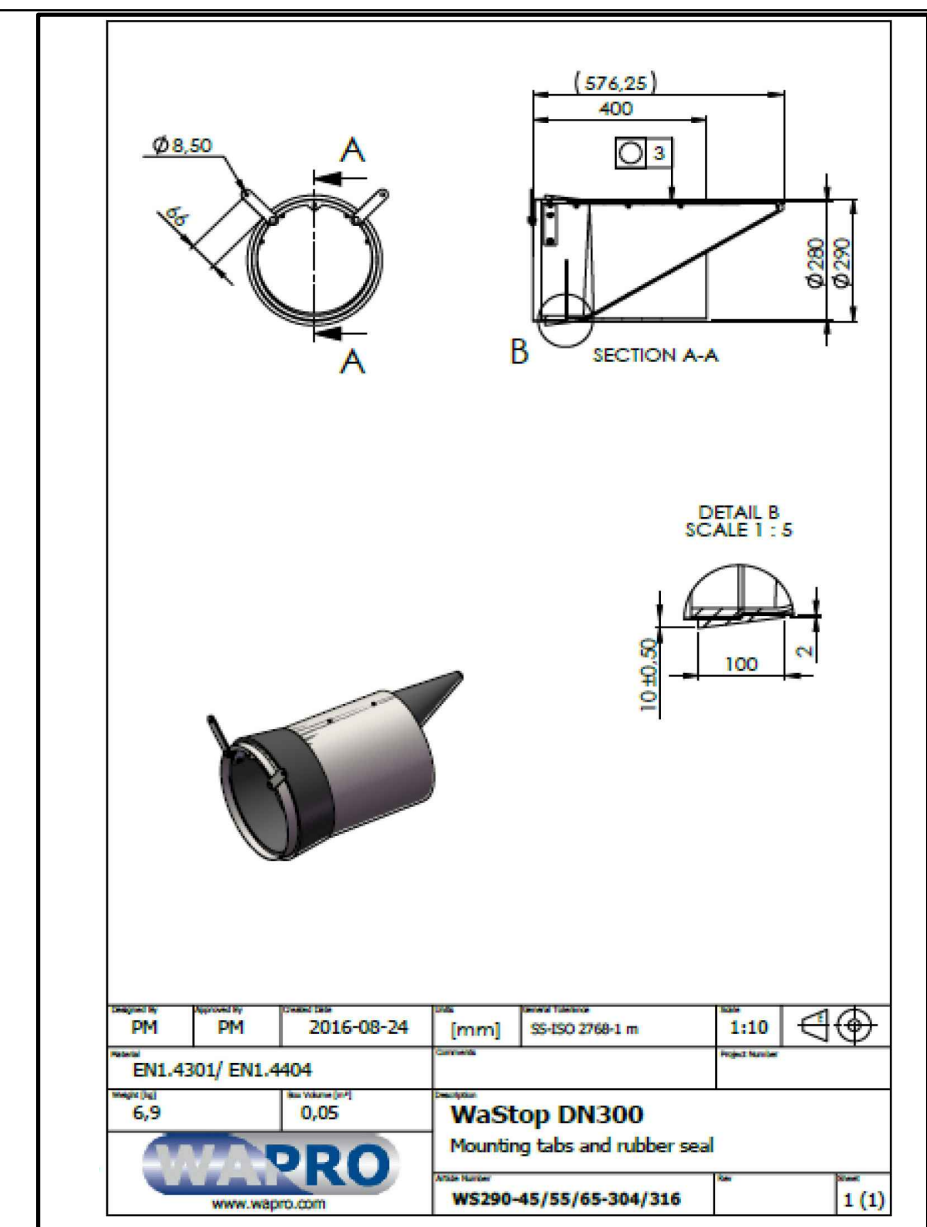
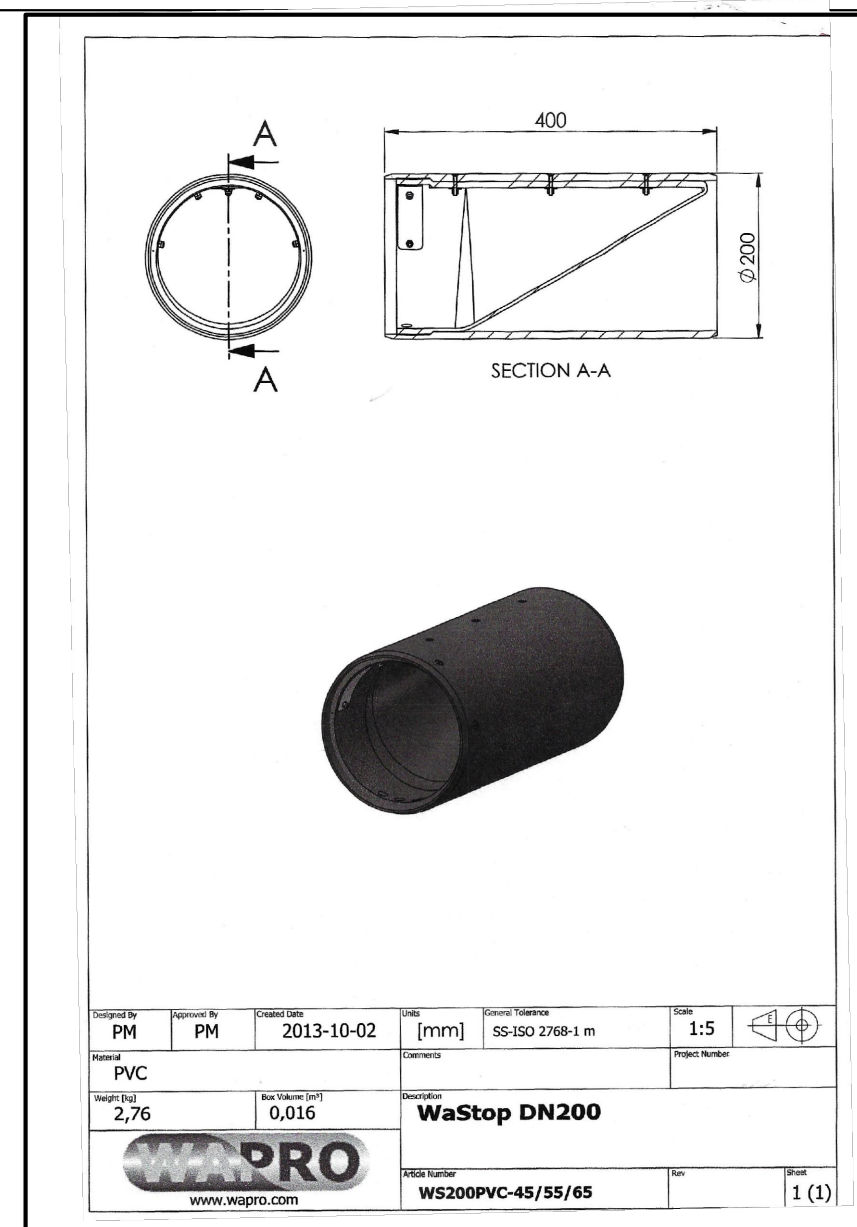
- ALL TEMPORARY SEDIMENTATION CONTROL FENCING TO BE INSTALLED PRIOR TO STARTING OF SITE EXCAVATION WORKS.
- ALL SEDIMENTATION CONTROL MEASURES TO BE INSPECTED REGULARLY AND MAINTAINED IN PROPER WORKING ORDER DURING SITE GRADING AND TO REMAIN IN PLACE UNTIL COMPLETION OF RESTORATIVE MEASURES.
- ALL CONSTRUCTION VEHICLES TO ENTER AND EXIT THE SITE FROM THE EXISTING ENTRANCE VIA THE TEMPORARY MUD MAT.
- ALL DISTURBED GROUND LEFT INACTIVE FOR MORE THAN 30 DAYS SHALL BE STABILIZED BY SEEDING. (IF SEEDING IS APPROPRIATE DURING CURRENT SEASON)
- BRUSH MATTRESS PLANTING TO OCCUR IN ALL AREAS DISTURBED DURING CONSTRUCTION OF THE SEWER OUTFALLS.
- JOINT PLANTING TO BE PROVIDED WITH THE PROPOSED RIP-RAP SPILLWAY AS PER DETAIL ON DWG. D-1

GRADING NOTES

- ALL DISTURBED AREAS TO BE RESTORED WITH A MIN. 100mm TOPSOIL, THEN SEEDED AND MULCHED WITH NATIVE GRASSES IMMEDIATELY FOLLOWING COMPLETION OF GRADING.
- SEDIMENT/SILTATION CONTROLS AND FENCES TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND REMOVED FOLLOWING RESTORATION OF VEGETATION DURING THE CONSTRUCTION PERIOD. SEDIMENT CONTROLS MEASURES ARE TO BE MAINTAINED IN GOOD WORKING CONDITION, AS DIRECTED BY THE SITE ENGINEER

ROAD AND PARKING LOT NOTES

- THE PROPOSED ENTRANCE/DRIVEWAY/PARKING TO REQUIRE THE REMOVAL OF ALL ORGANICS, PROVISION OF ENGINEERED FILL TO UNDERSIDE OF SUB-GRADE AND PLACEMENT OF GRANULAR MATERIALS AND ASPHALT AS PER DETAIL ON DWG. D-2.
- ALL MATERIALS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DRY DENSITY. CONTRACTOR TO COMPLETE ALL COMPACTION TESTING AND SUBMIT SUCH TO SITE ENGINEER FOR REVIEW AND APPROVAL/ACCEPTANCE.
- THE GRANULAR PARKING AREA AND DRIVEWAYS SHALL BE MAINTAINED WITH A STABLE SURFACE WHICH IS TREATED TO PREVENT THE RAISING OF DUST OR LOOSE PARTICLES UNTIL SUCH TIME AS THE SURFACE IS PAVED.



Barrier-Free Parking Signage Requirements

REFER TO SITE PLAN FOR INSTALLATION LOCATION.

ALL BARRIER-FREE PARKING STALLS SHALL BE DESIGNATED BY SIGNAGE.

ONE SIGN PER BARRIER-FREE PARKING BAY IS REQUIRED UNLESS A ROW OF SEVERAL BAYS IS PROVIDED IN WHICH CASE, A SIGN AT EACH END OF THE ROW WITH APPROPRIATE DIRECTIONAL ARROWS IS PERMISSIBLE.

THE REQUIRED SIGN(S) MUST BE MOUNTED AT LEAST 0.5m AND NOT MORE THAN 2.0m FROM THE FACE OF THE CURB AT A HEIGHT OF 1.5m ABOVE THE TOP OF CURB ELEVATION. SIGNS MUST NOT OBSTRUCT THE SIDEWALK.

WHERE AN UNOBSTRUCTED BUILDING FACE IS NO MORE THAN 2.0m FROM THE FACE OF THE CURB AT THE BARRIER-FREE PARKING BAY, THE REQUIRED SIGN(S) MAY BE MOUNTED ON THE BUILDING FACE.

Barrier-Free Sign N.T.S.

Sign Face
(AS PER HIGHWAY TRAFFIC ACT (HTA, RES 581))
0.064 GAUGE ALUMINUM SIGN BLANK
Rb-93 - 30cm x 45cm
FONT - HELVETICA BOLD CONDENSED
COLOUR - INTERDICTIONARY SYMBOL - RED REFLECTIVE
SYMBOL OF ACCESS - BLUE REFLECTIVE
SYMBOL BORDER - BLUE REFLECTIVE
LEGEND & BORDER - BLACK
BACKGROUND - WHITE REFLECTIVE
HOLES - METRO PUNCH

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TOWN OF MIDLAND APPROVAL

ENGINEER'S SEAL

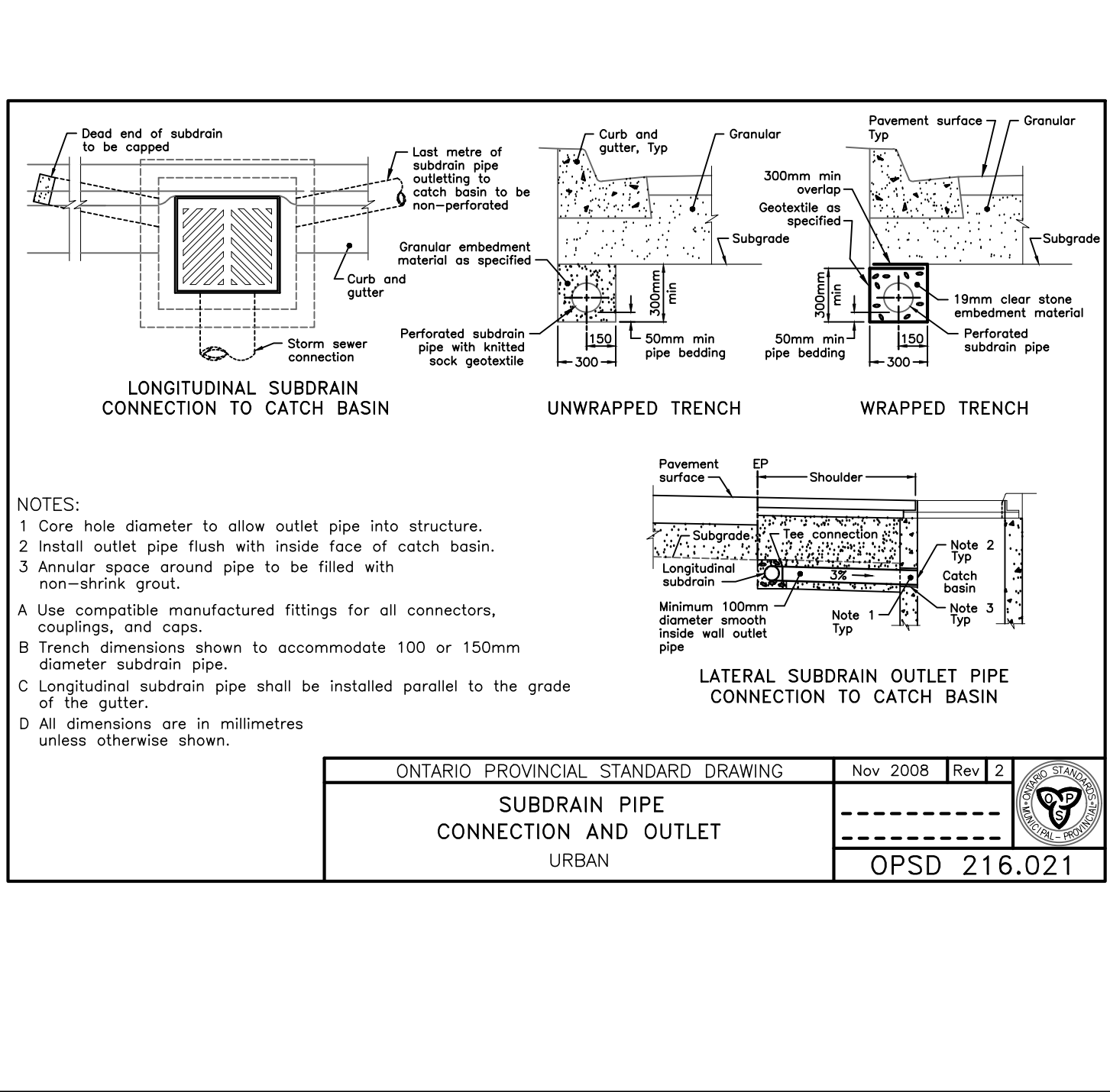
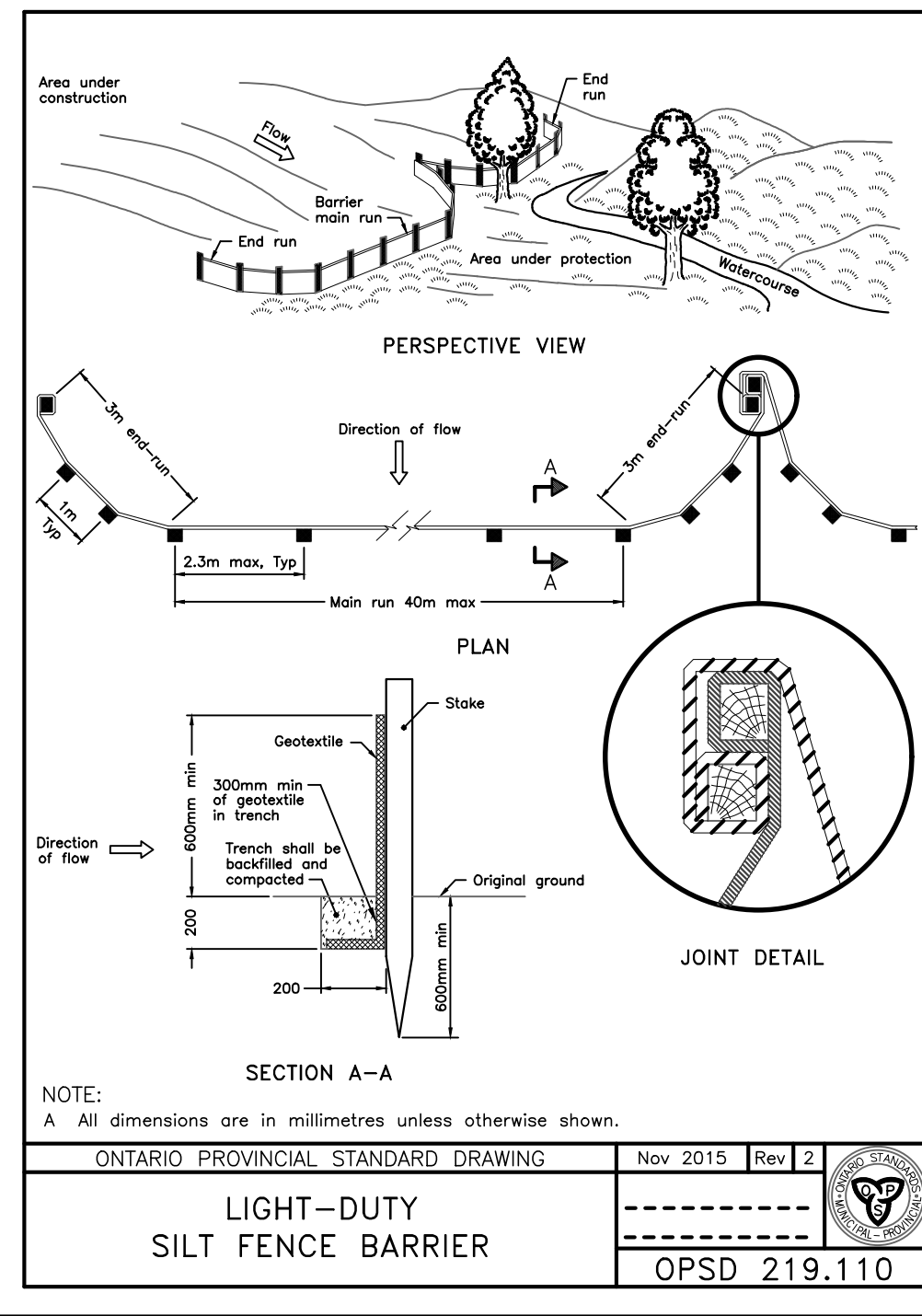
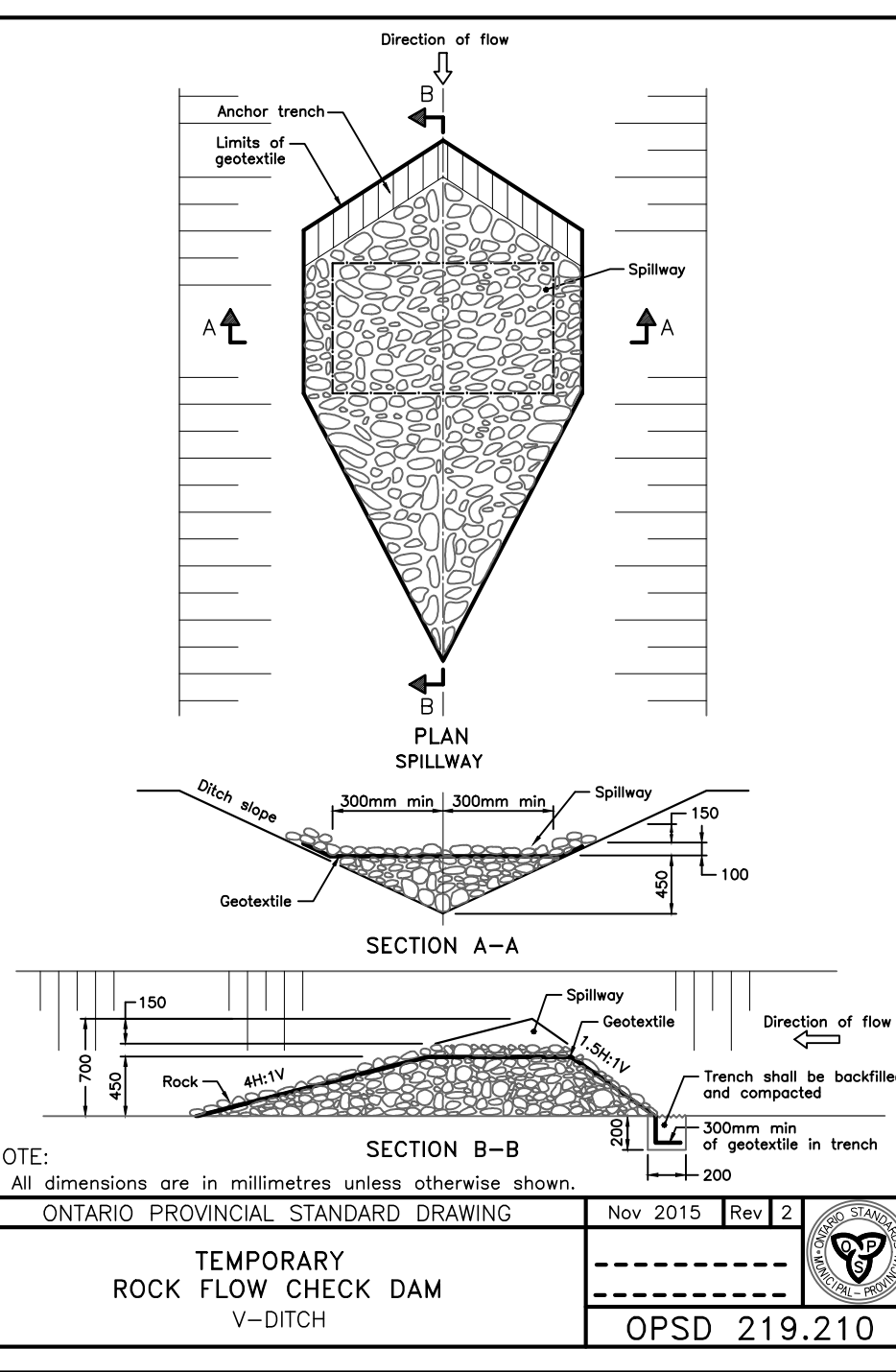
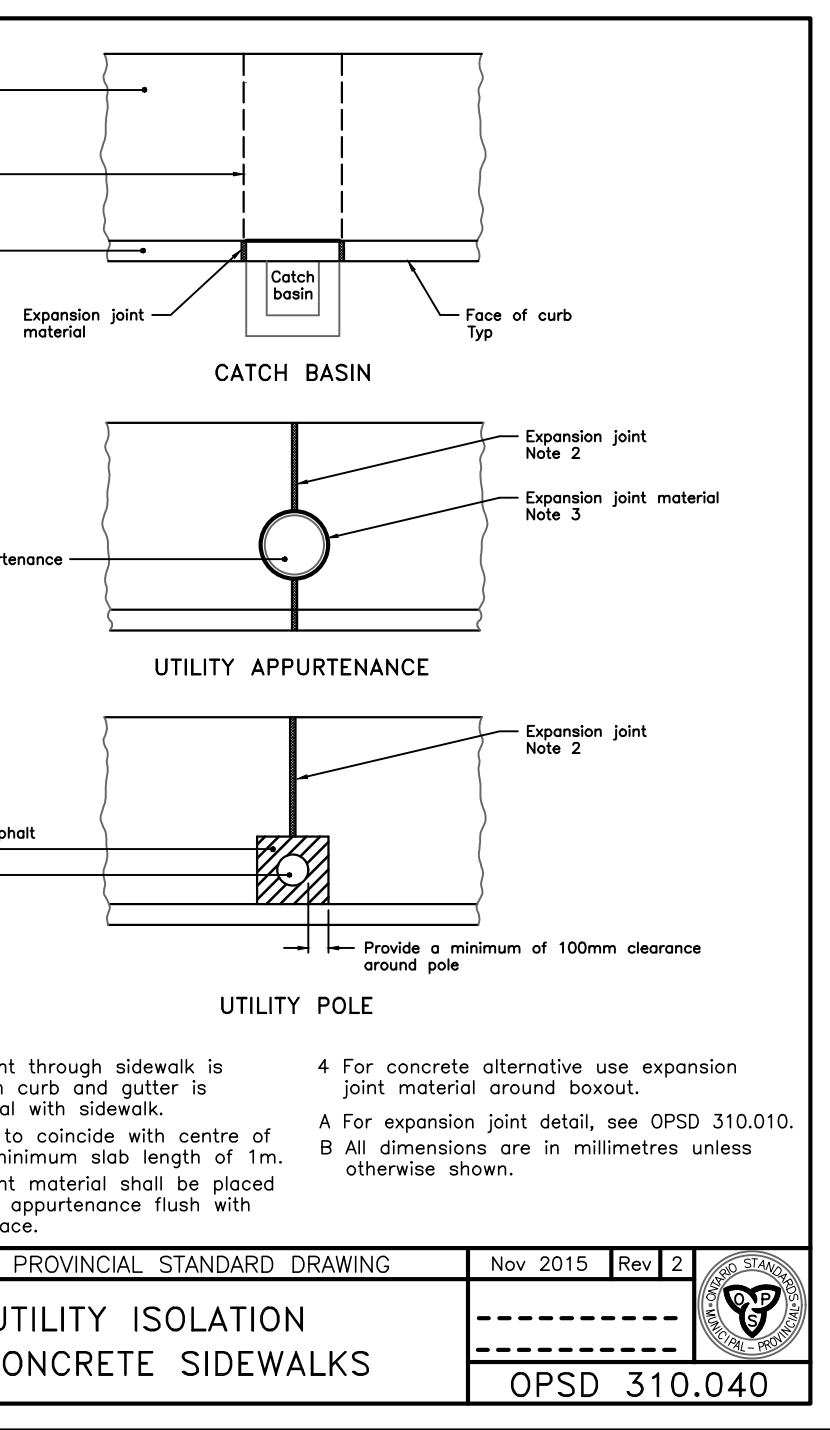
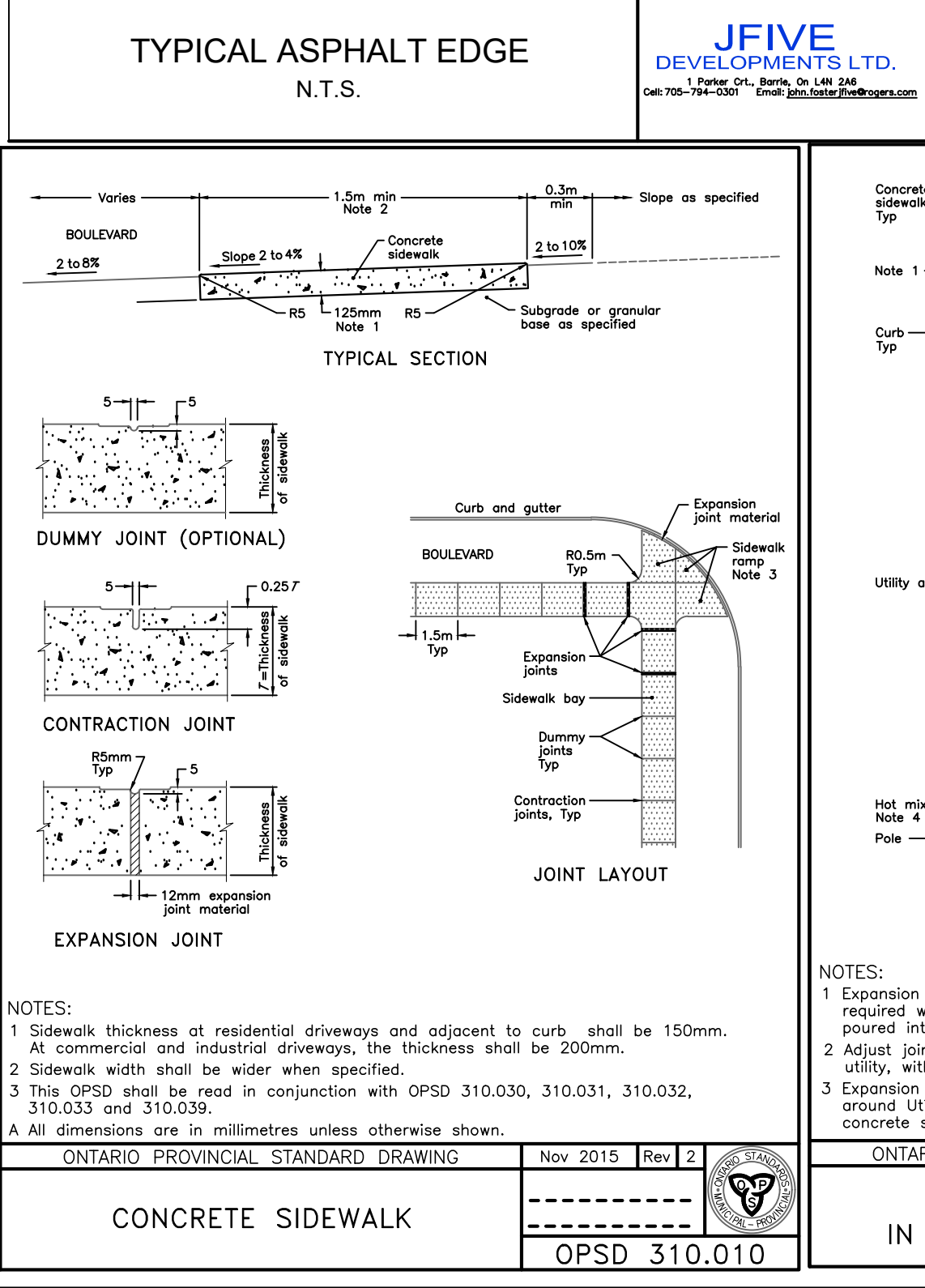
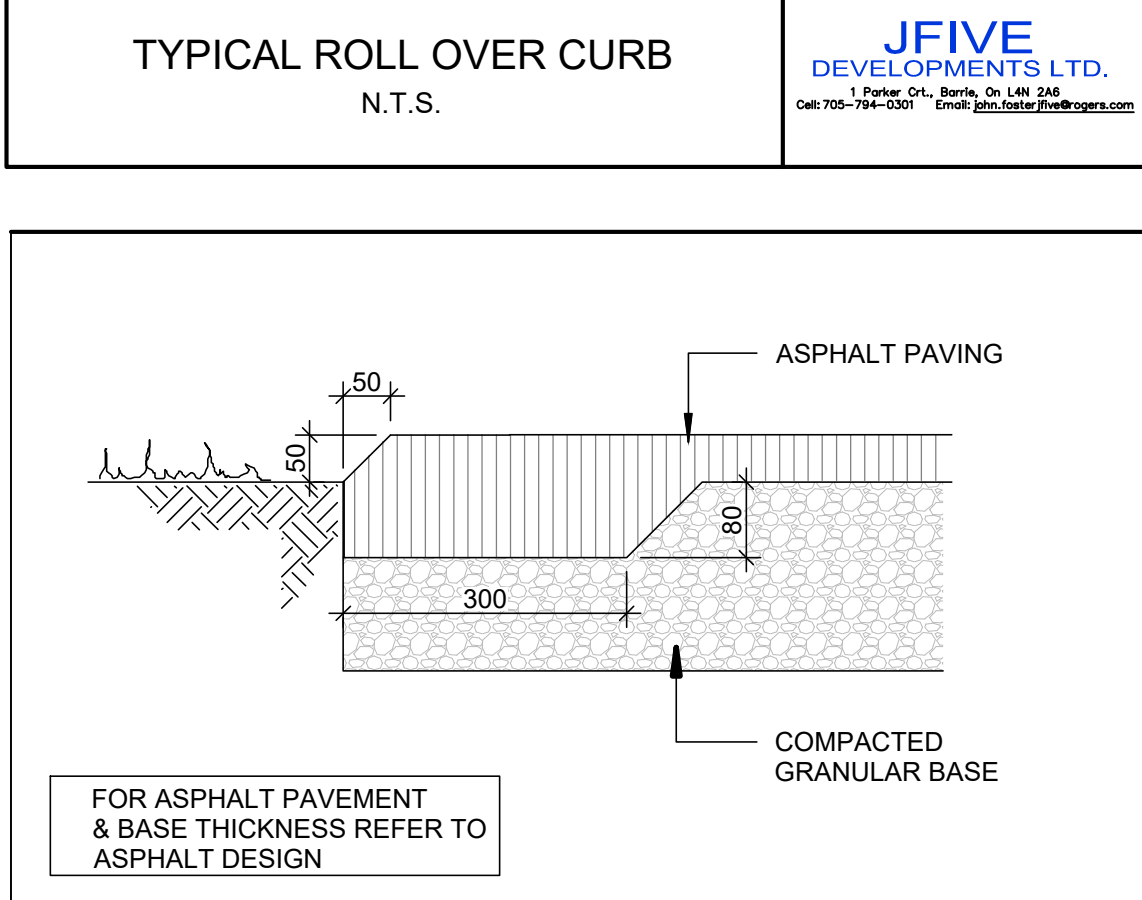
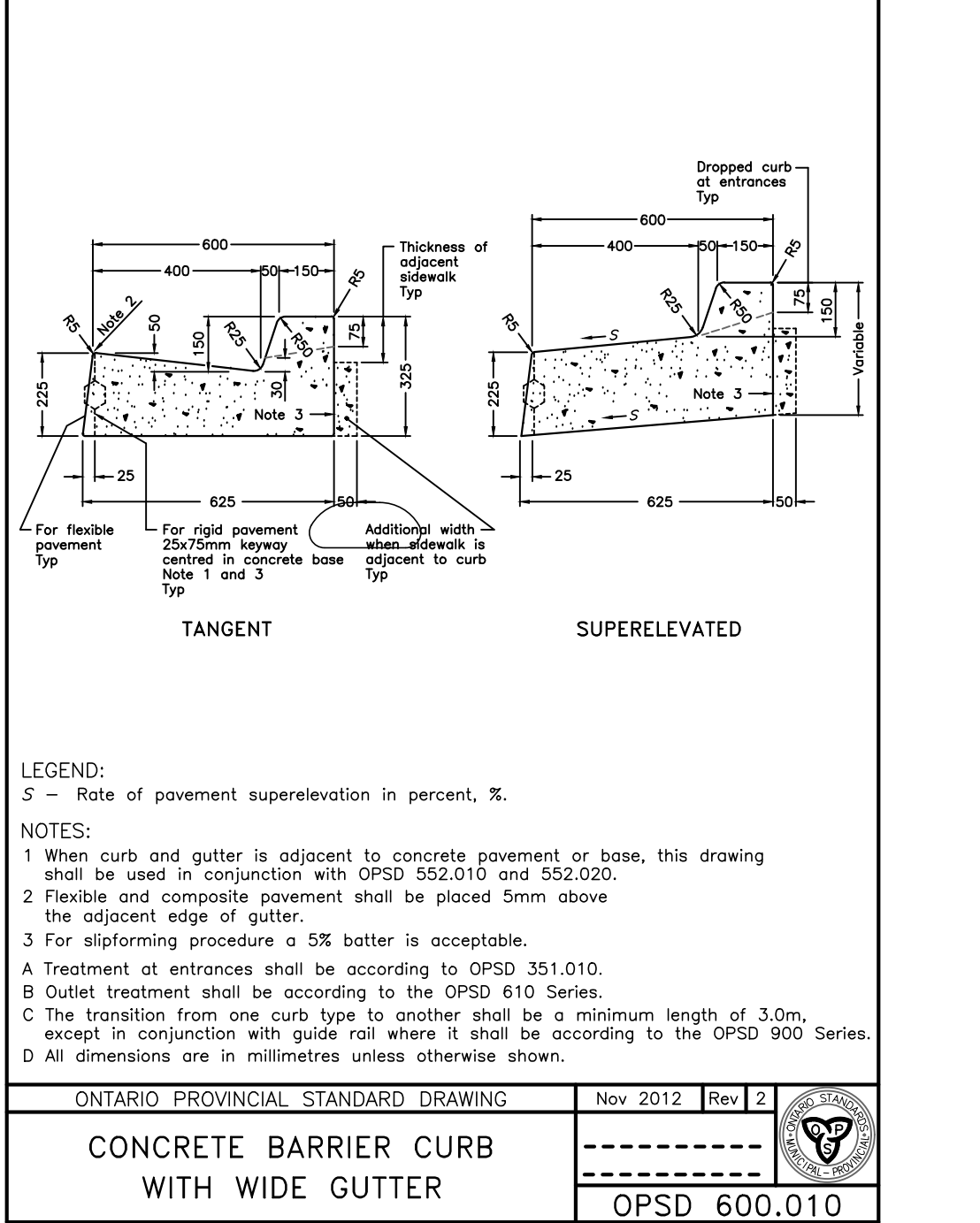
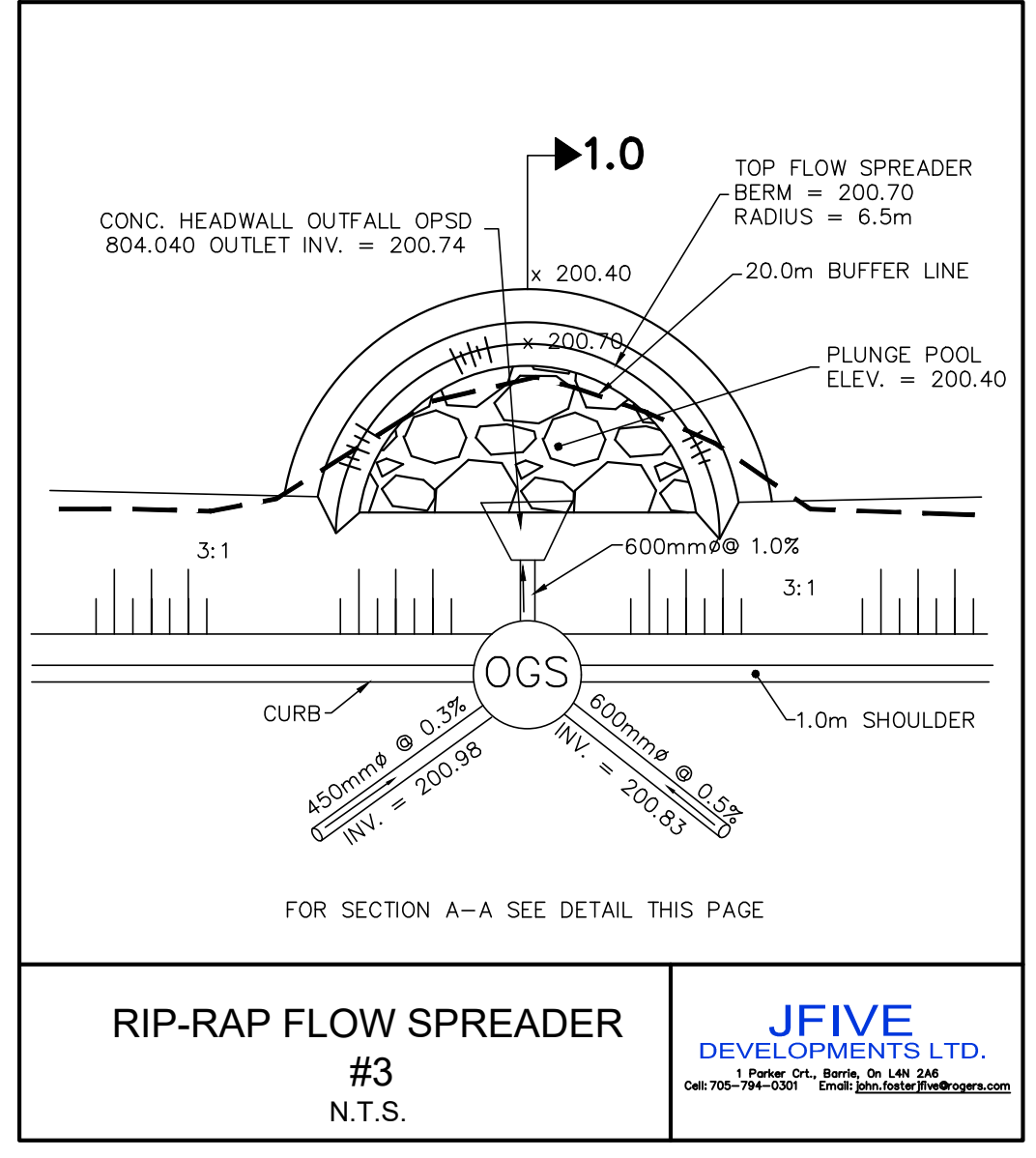
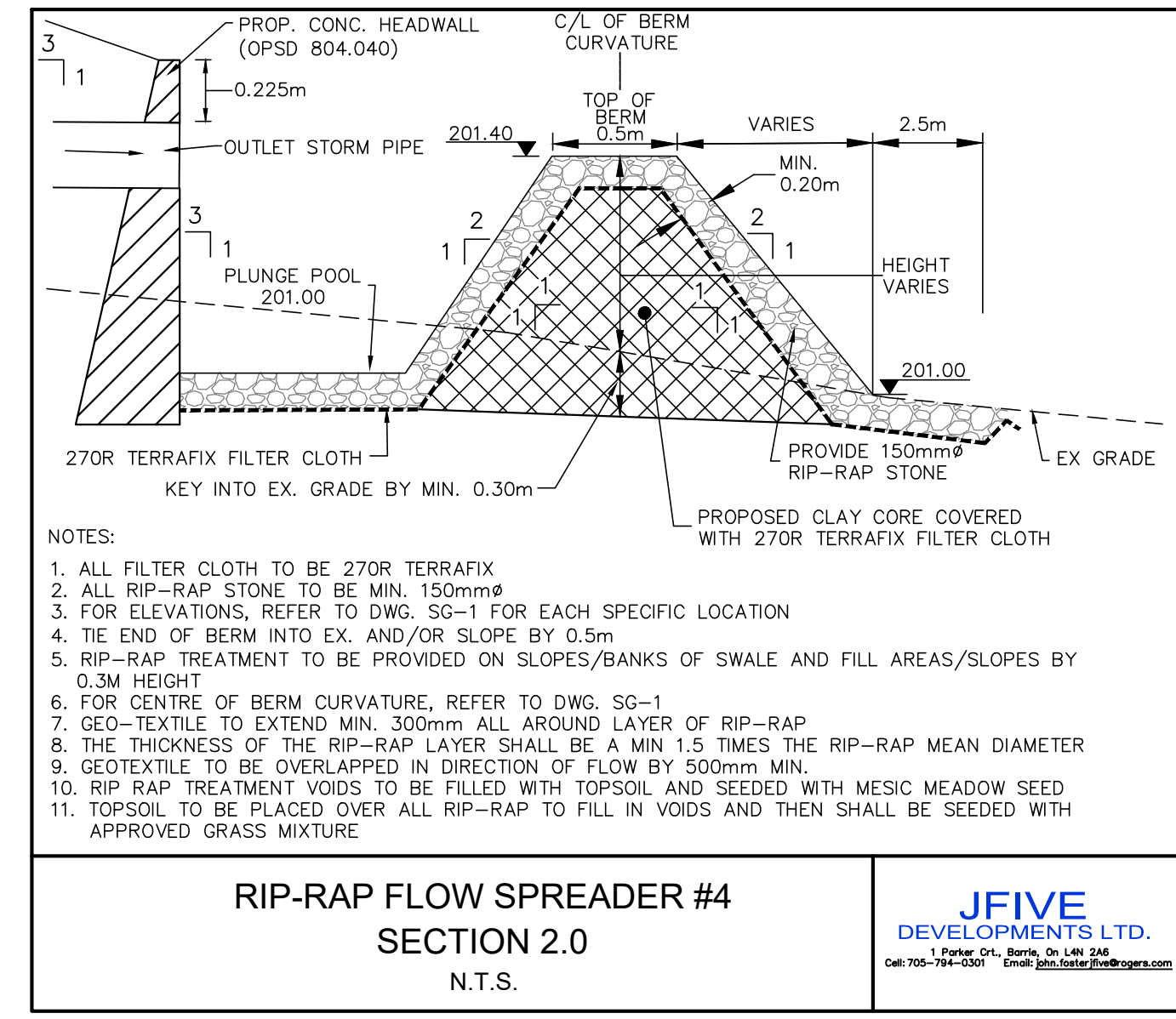
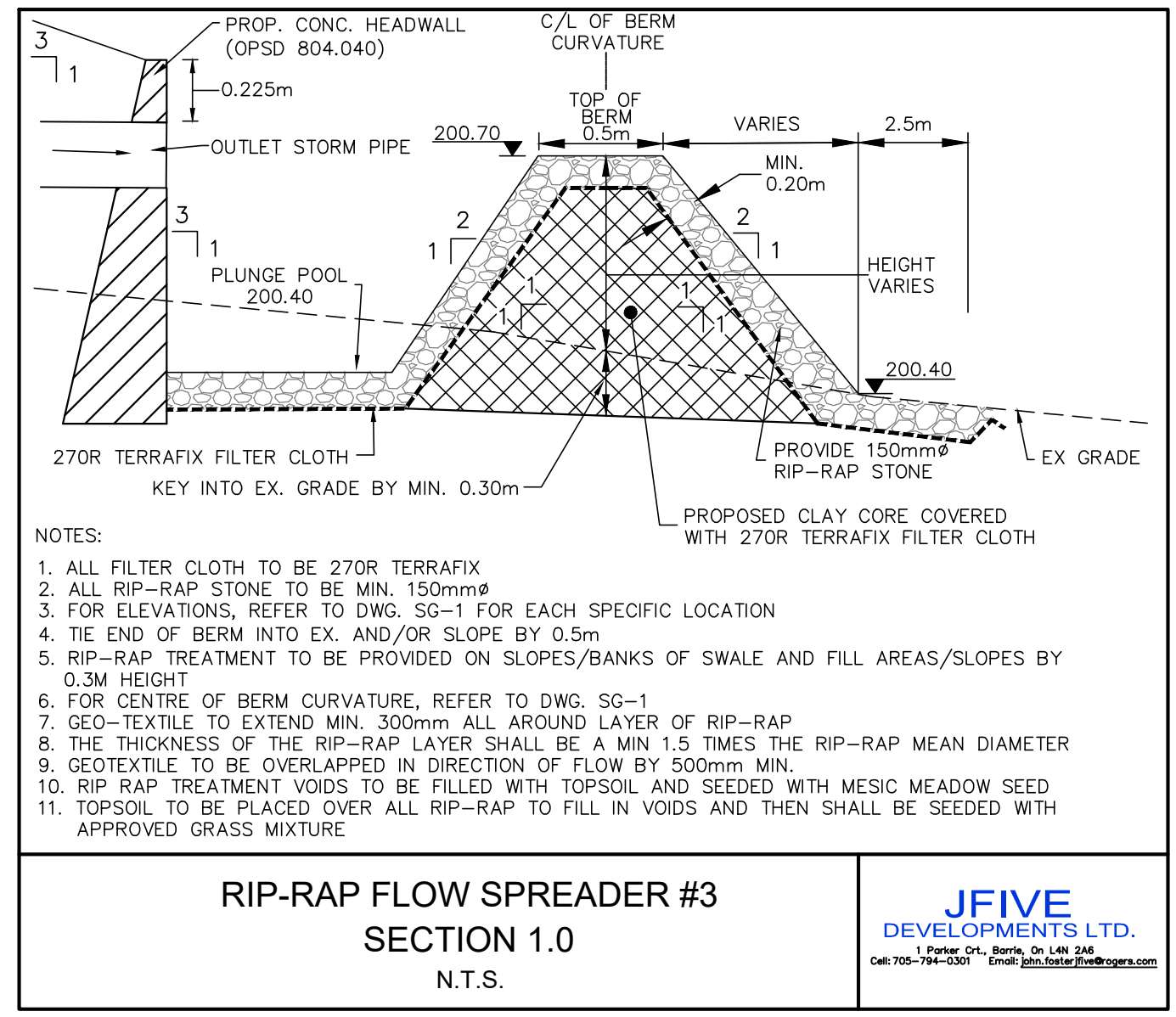
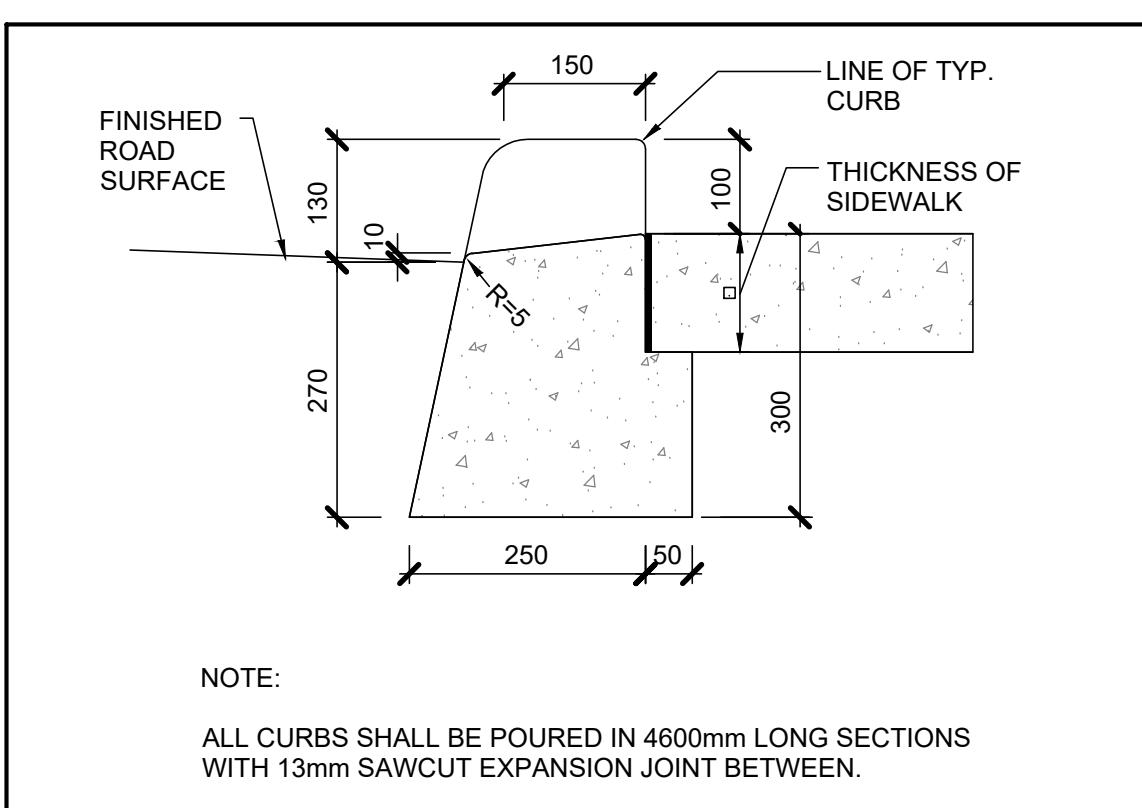
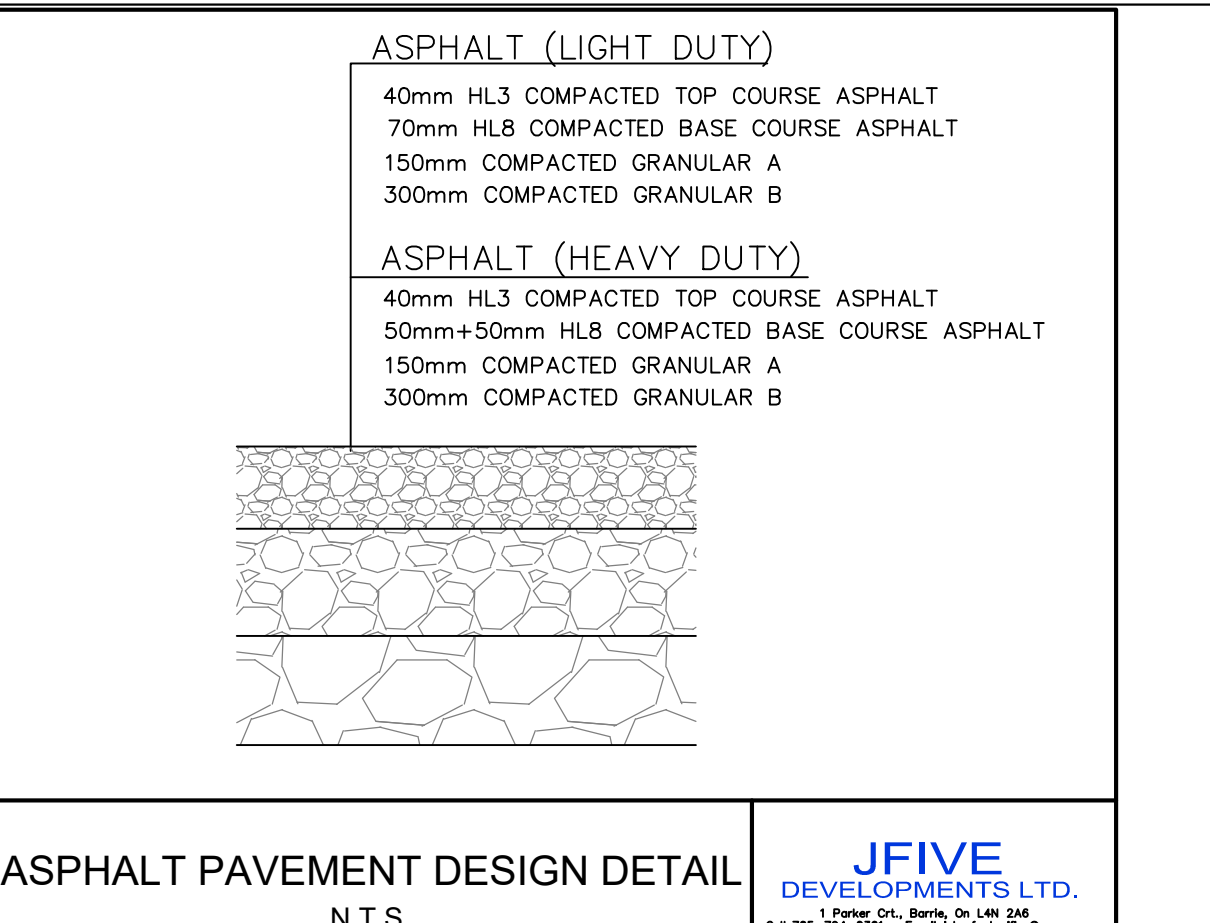
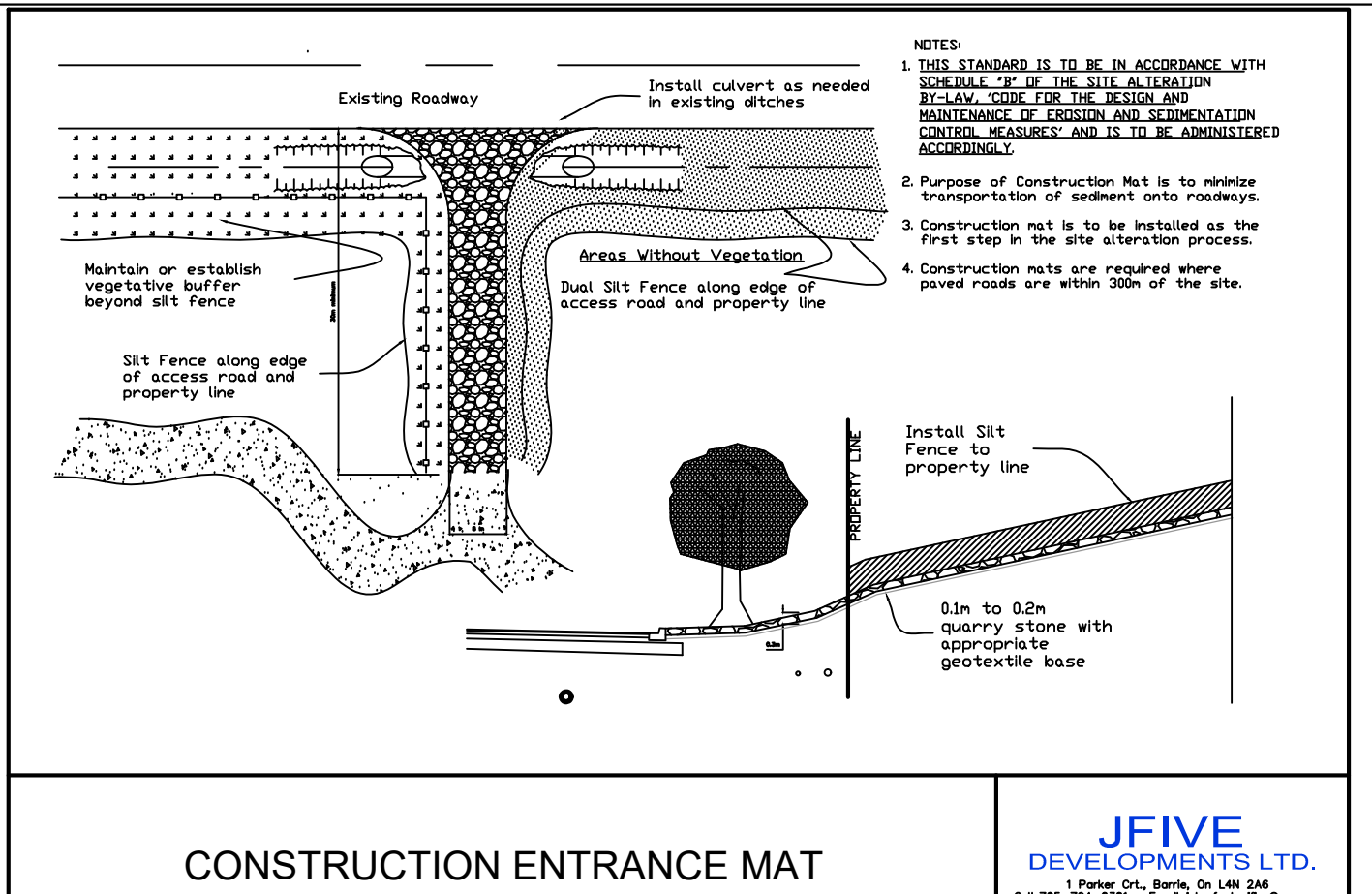
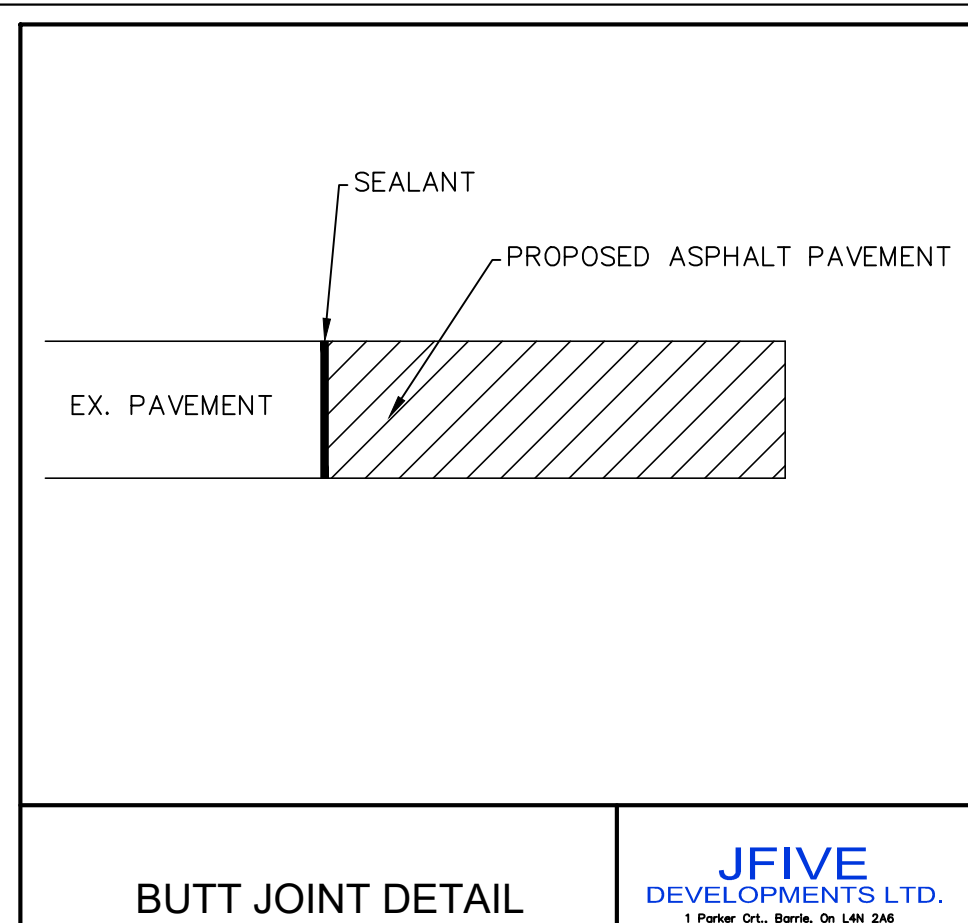
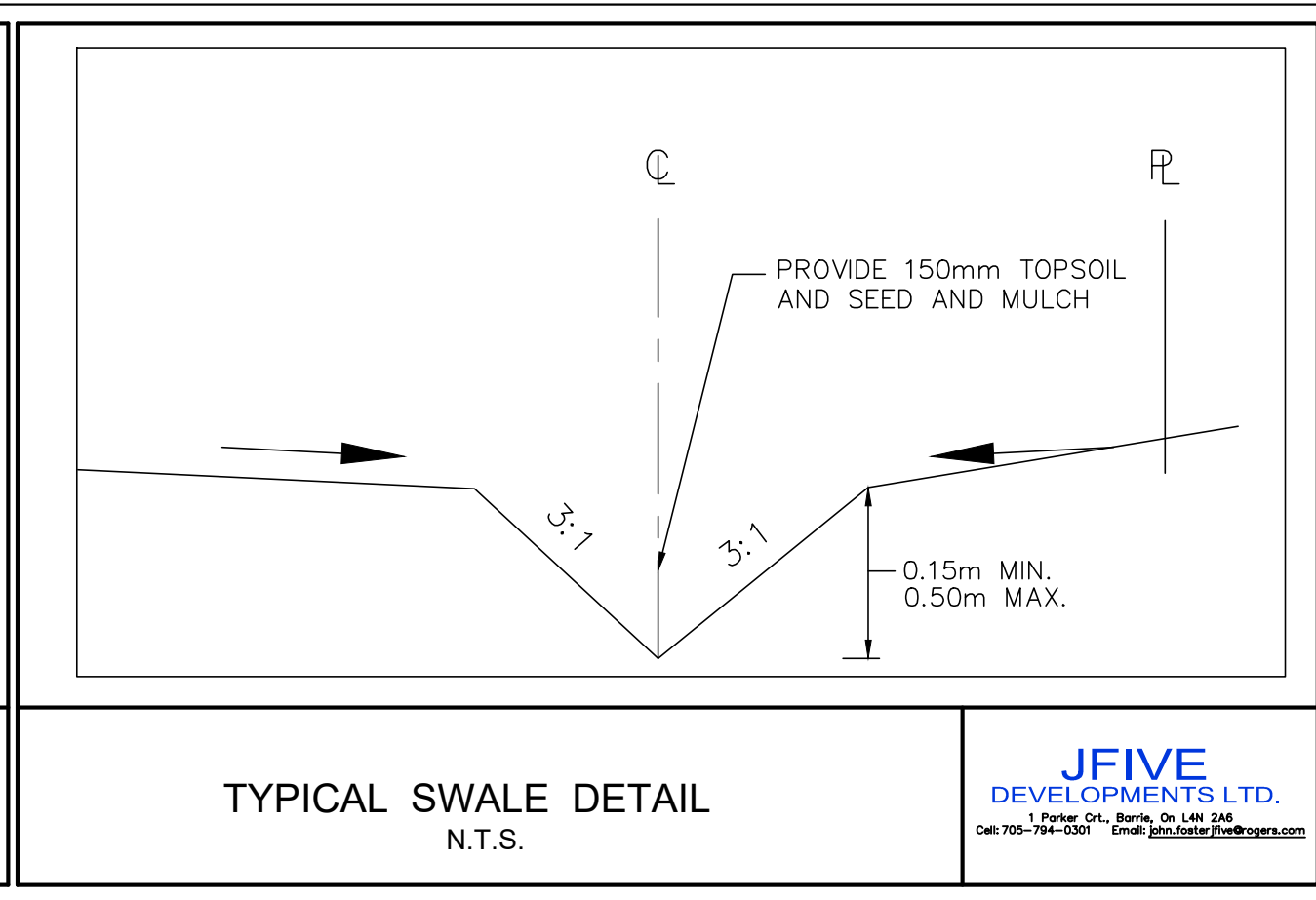
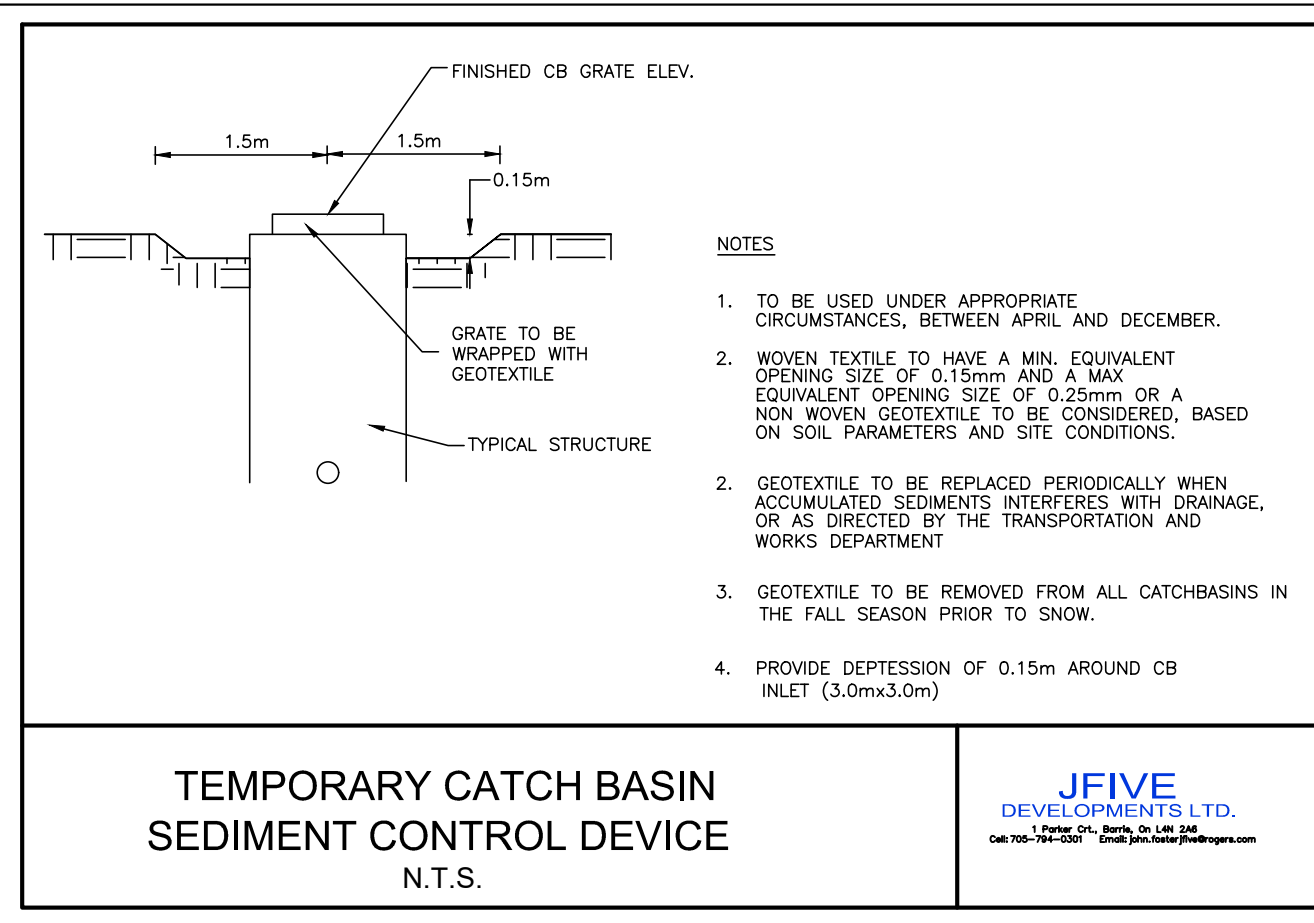
PROJECT: **VILLA RETIREMENT LODGE PHASE 2 #658 KING STREET TOWN OF MIDLAND**

TITLE: **STANDARD DETAILS**

CONSULTING ENGINEER: **JFIVE DEVELOPMENTS LTD.**
1 Parker Cr., Barrie, ON L4N 2A6
Cell: 705-794-0301 Email: john.foster@jfive.com

TOWN OF MIDLAND

DRAWN: GEMCAD INC. SCALE: DWG. No. PROJECT No.
DESIGNED: J.F. HOR: 1:500 D-1 077
CHECKED: J.F. DATE: JULY 2017



3	REVISED SPA COMMENTS	MAR 31/22	J.F.	J.F.
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ITEM	DESCRIPTION	DATE	BY	APPRVD
SCHEDULE OF REVISIONS				

ONTARIO PROVINCIAL STANDARD DRAWING
Nov 2015 Rev 2

TOWN OF MIDLAND APPROVAL
ENGINEER'S SEAL

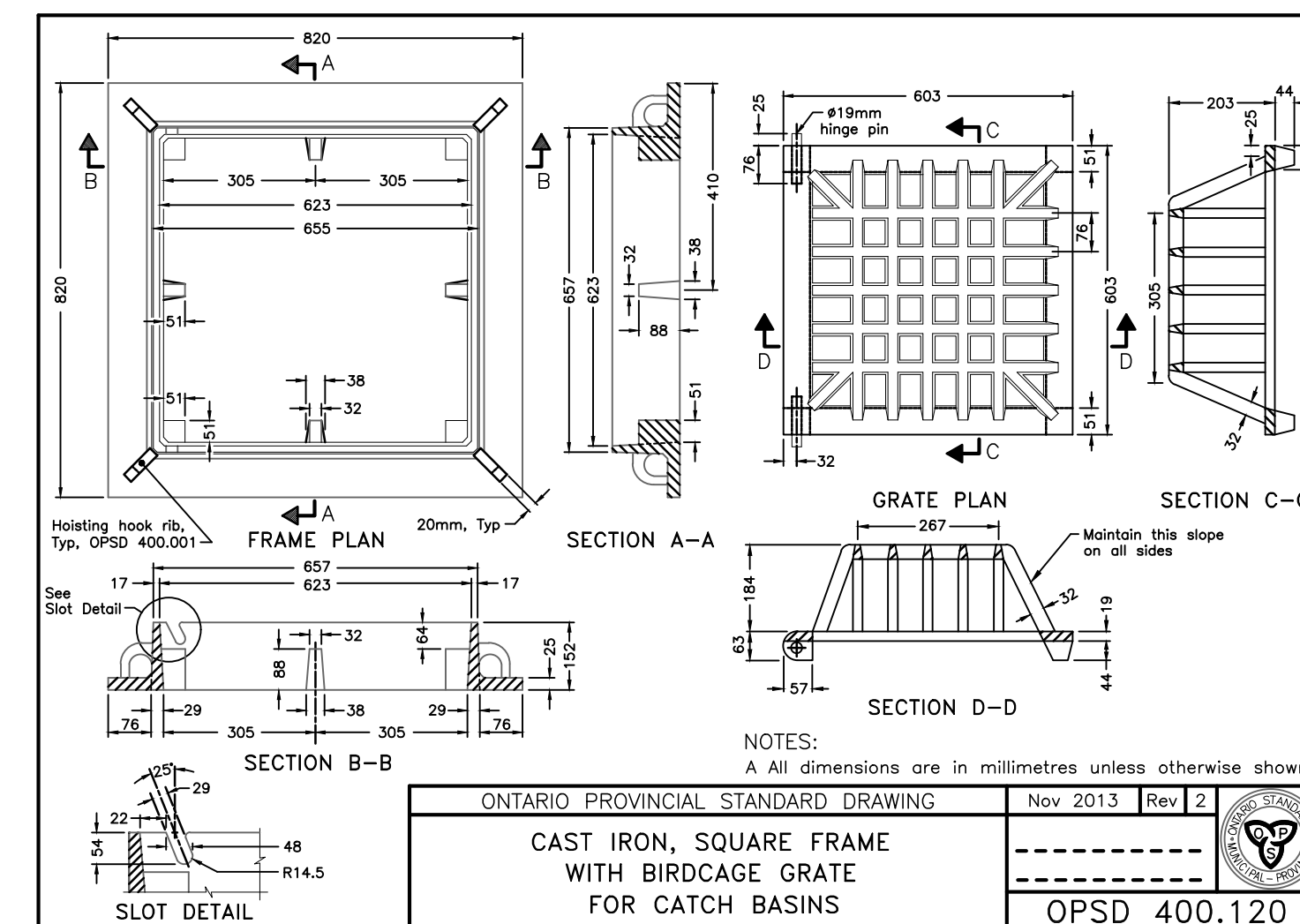
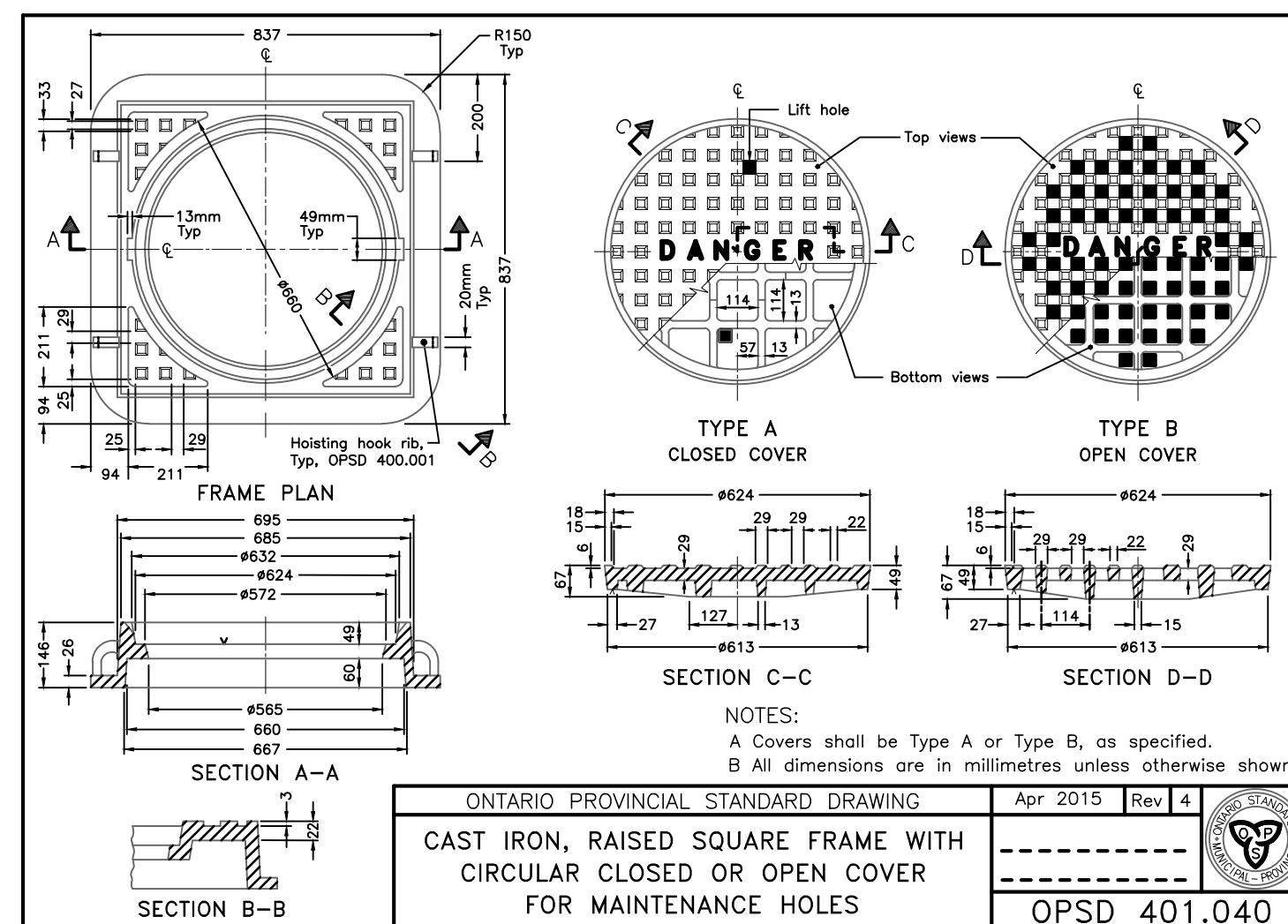
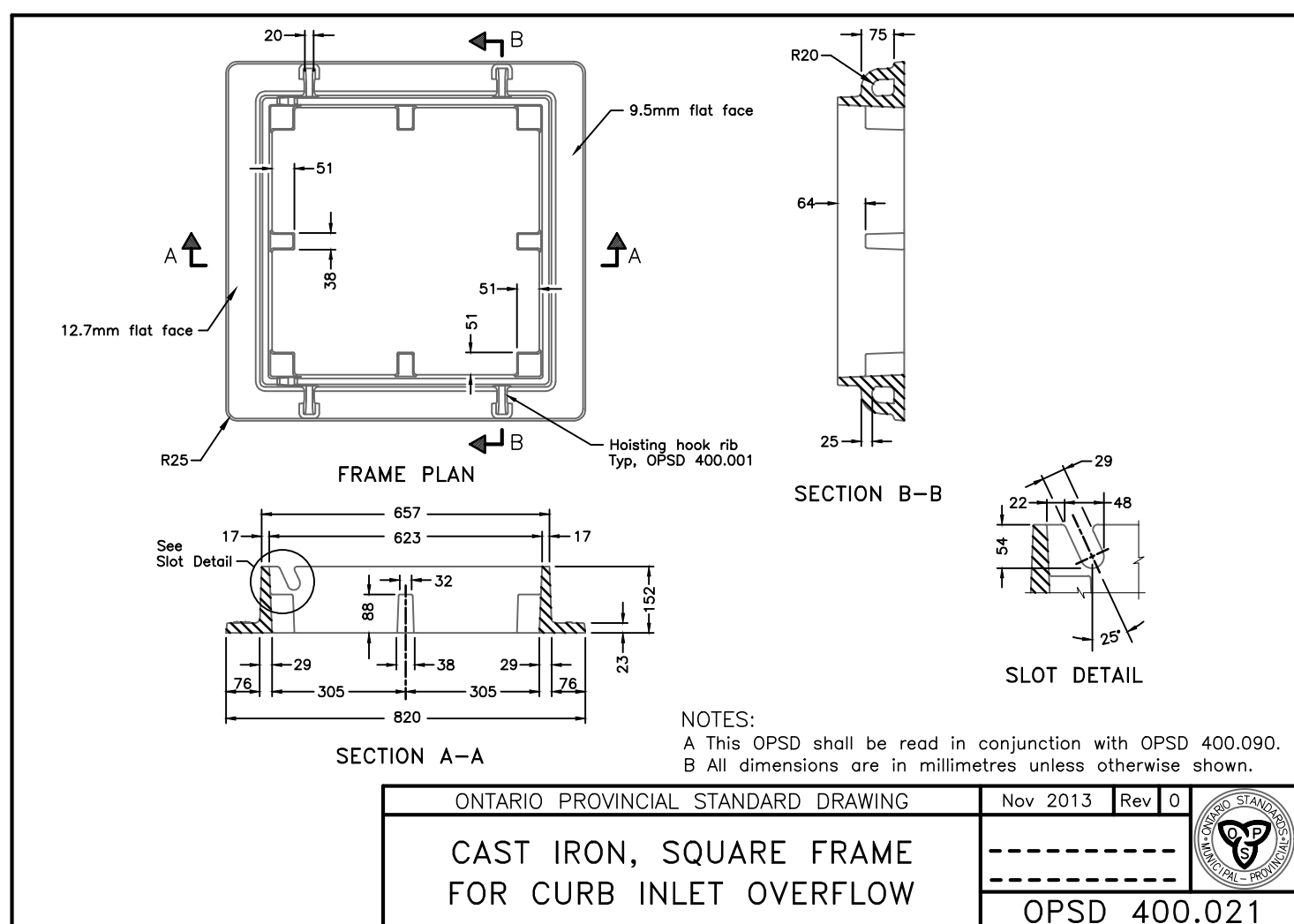
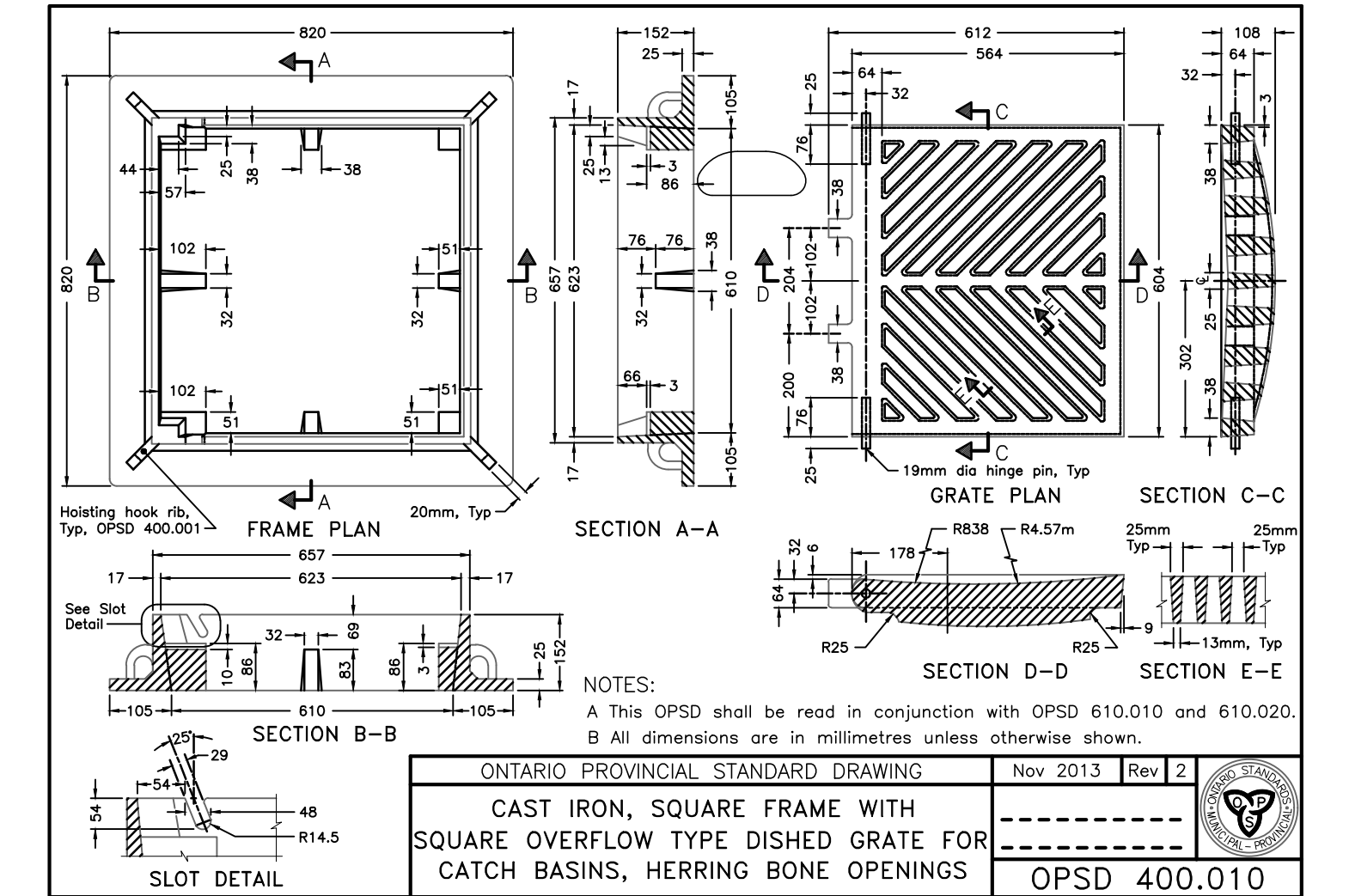
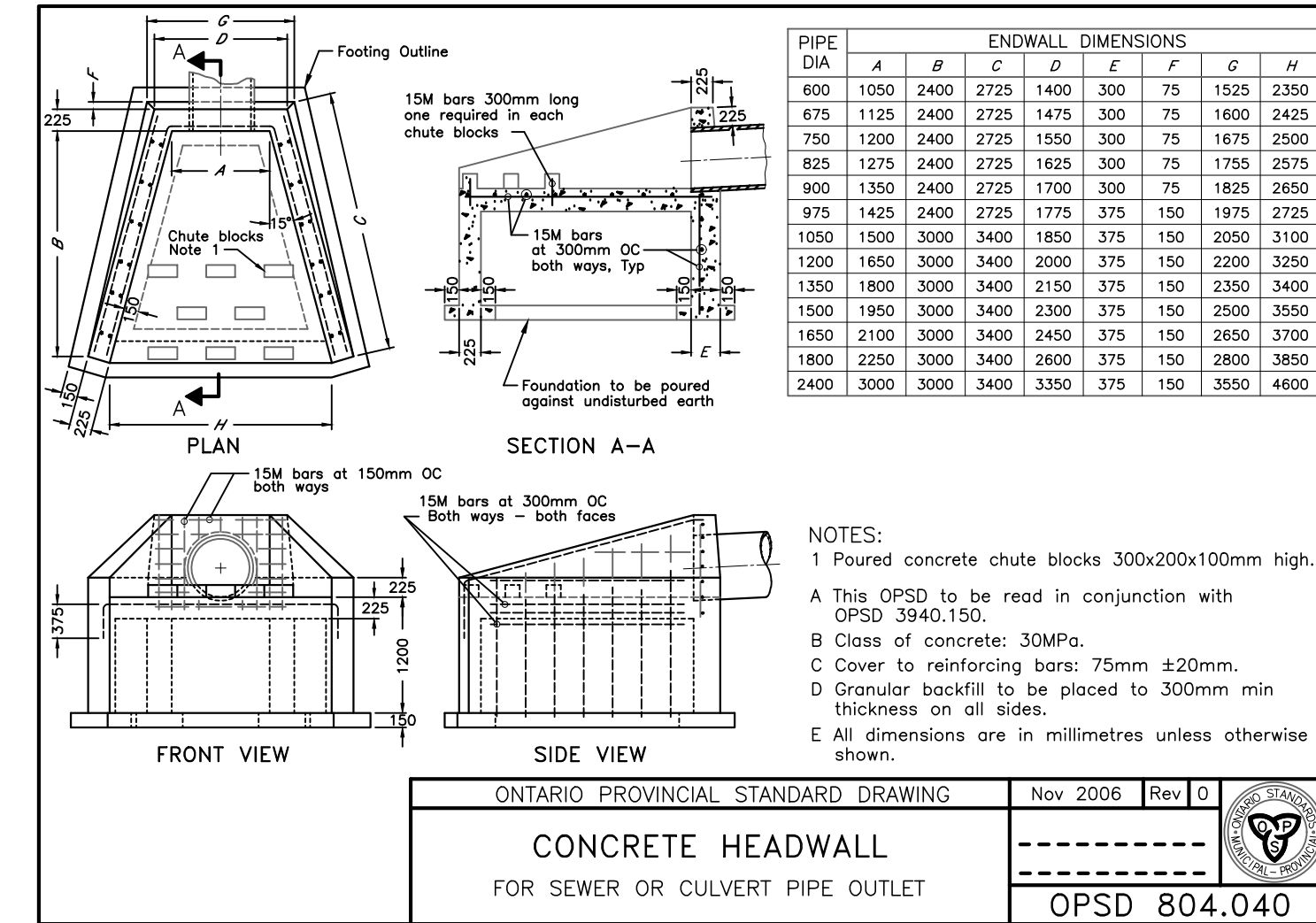
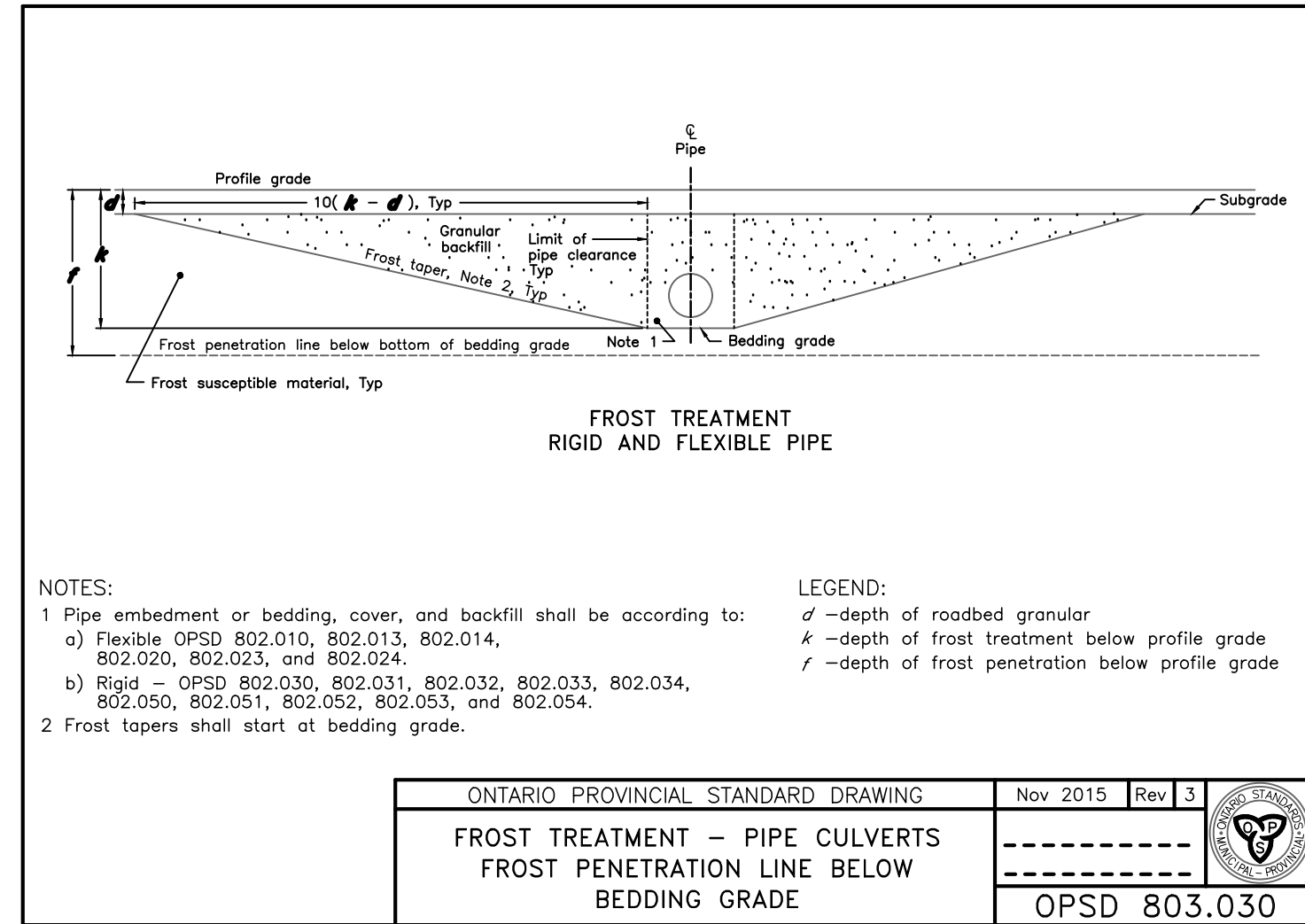
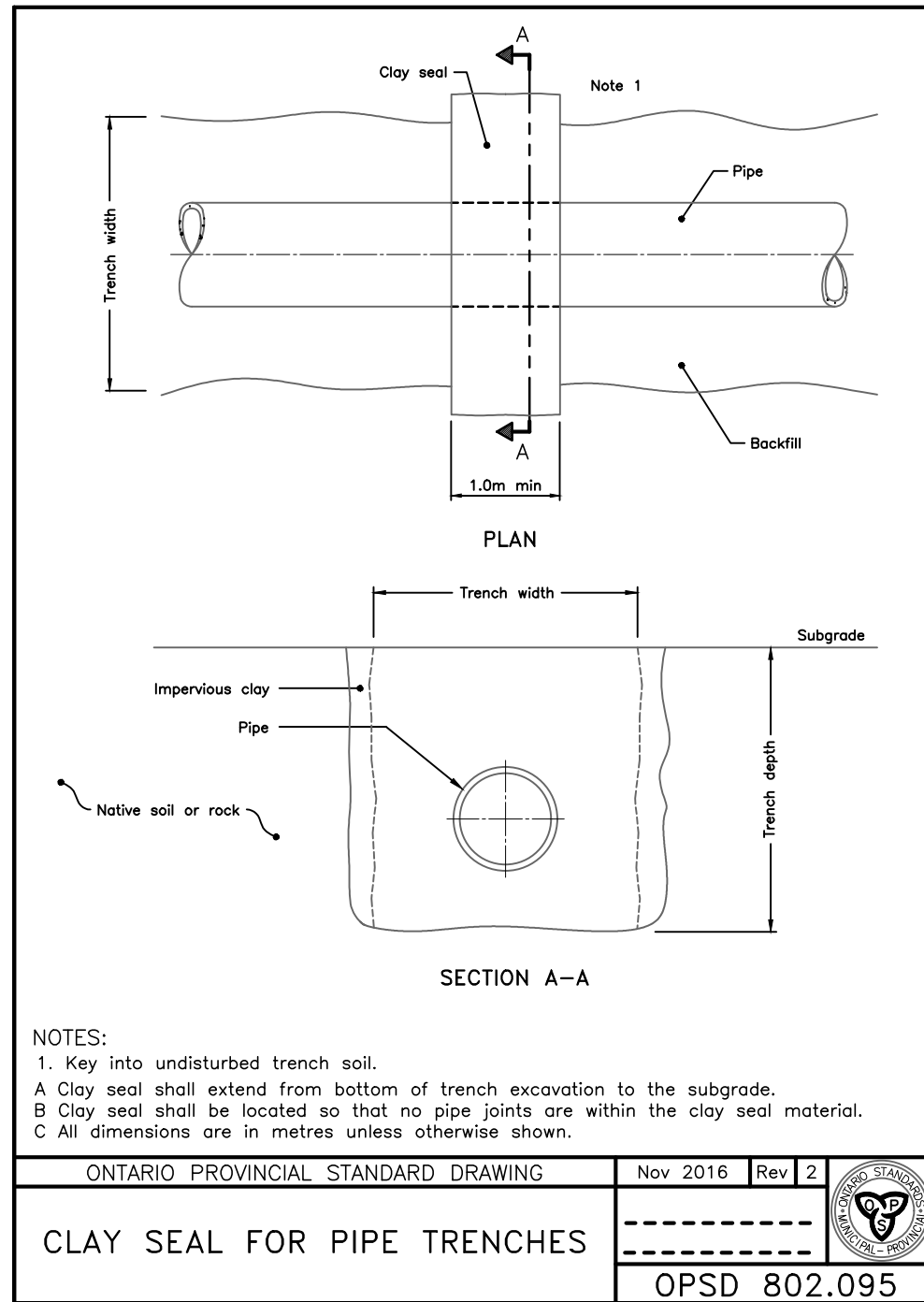
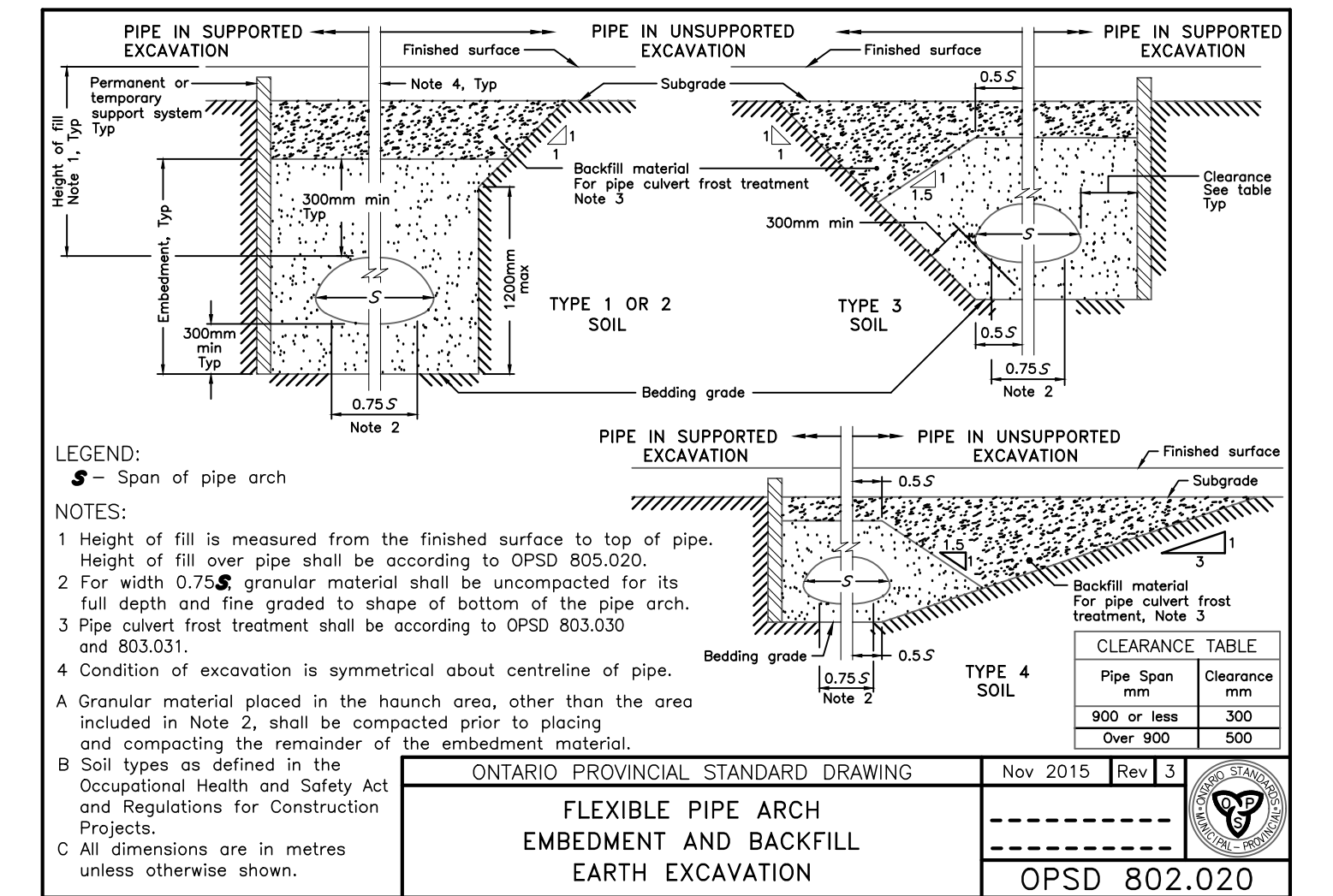
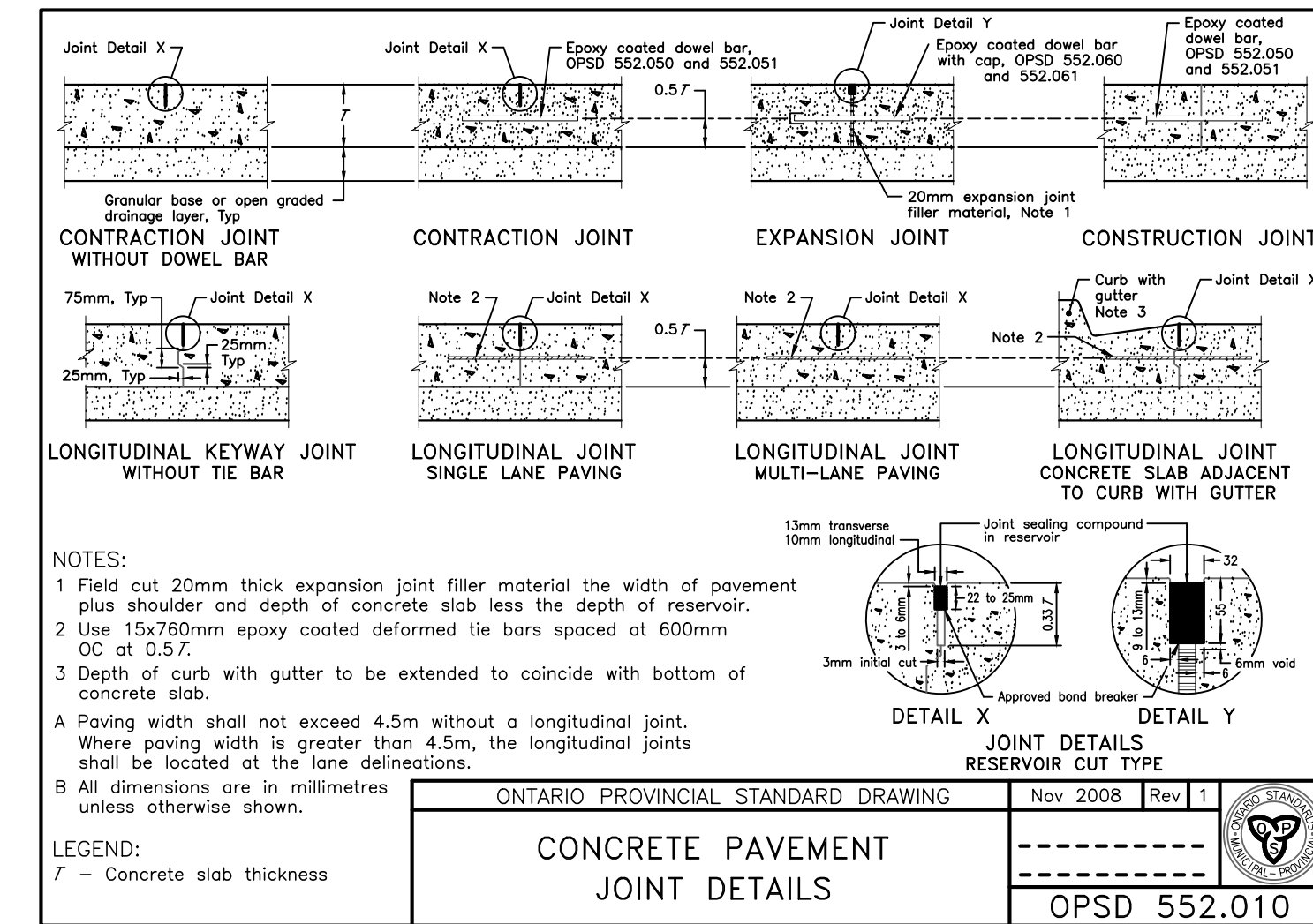
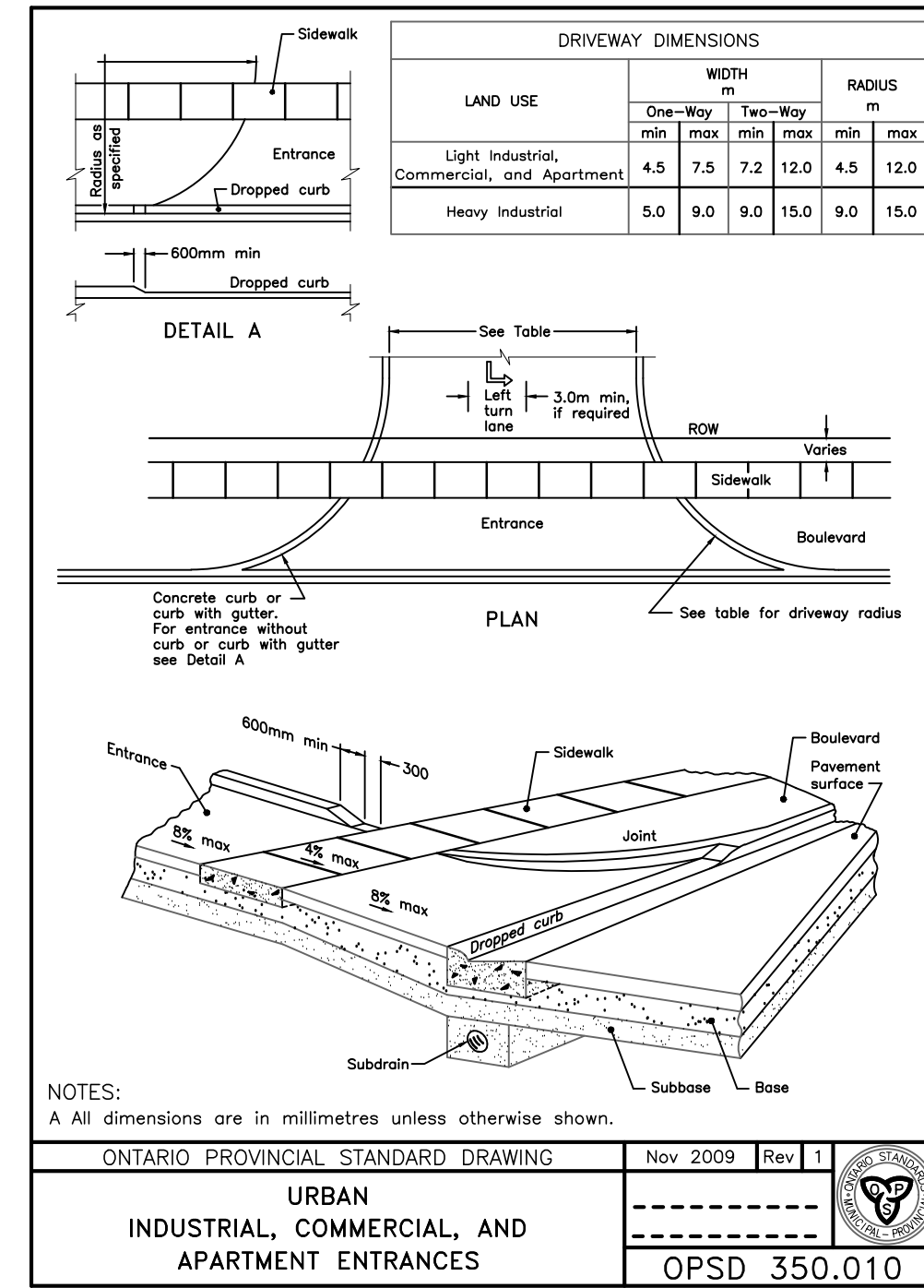
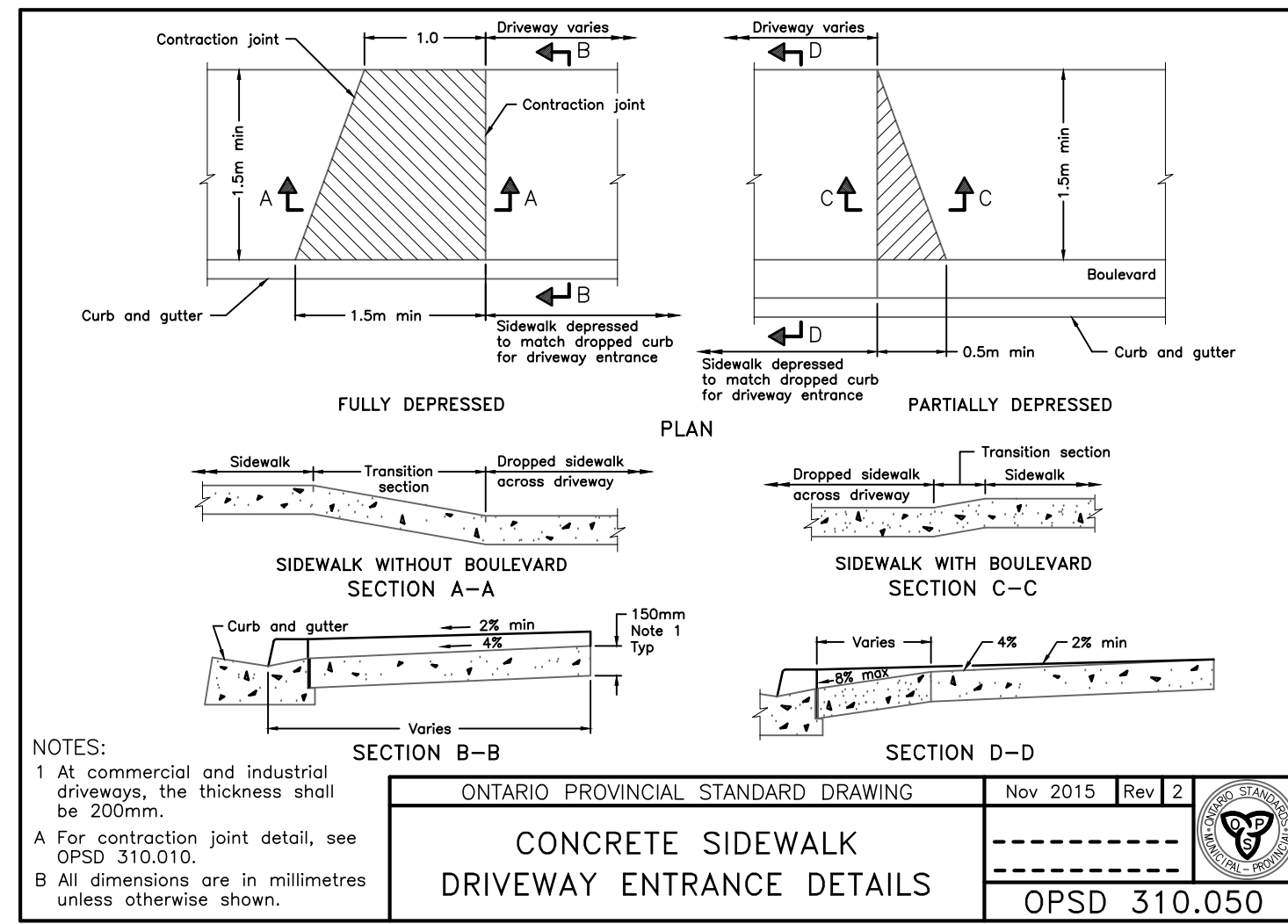
PROJECT:
**VILLA RETIREMENT LODGE
PHASE 2
#658 KING STREET
TOWN OF MIDLAND**

TITLE:
STANDARD DETAILS

CONSULTING ENGINEER:
JFIVE DEVELOPMENTS LTD.
1 Parker Ct., Barrie, ON L4N 2A6
Cell: 705-794-0301 Email: john.foster@jfive.com

Midland TOWN OF MIDLAND

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DESIGNED: J.F. HOR: 1:500
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D-2 077



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TOWN OF MIDLAND APPROVAL

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TOWN OF MIDLAND

DRAWN: GEMCAD INC.	SCALE:	DWG. No.	PROJECT No.
DESIGNED: J.F.	HOR: 1:500	D-3	077
CHECKED: J.F.	DATE: JULY 2017		

MAINTENANCE HOLE STEPS
SOLID

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2013 Rev 3
OPSD 405.020

90° ASPHALT OUTLET FOR ASPHALT CURB WITH GUTTER

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2013 Rev 2
OPSD 604.020

90° CONCRETE OUTLET FOR CONCRETE CURB WITH GUTTER

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2012 Rev 2
OPSD 604.010

PRECAST CONCRETE MAINTENANCE HOLE
1200mm DIAMETER

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2014 Rev 5
OPSD 701.010

MAINTENANCE HOLE BENCHING AND PIPE OPENING ALTERNATIVES

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2014 Rev 4
OPSD 701.021

CATCH BASIN CONNECTION FOR FLEXIBLE MAIN PIPE SEWER

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2016 Rev 3
OPSD 708.030

FROST STRAP INSTALLATION

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2010 Rev 2
OPSD 701.100

PRECAST CONCRETE ADJUSTMENT UNITS FOR MAINTENANCE HOLES, CATCH BASINS, AND VALVE CHAMBERS

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2014 Rev 3
OPSD 704.010

PRECAST CONCRETE CATCH BASIN
600x600mm

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2014 Rev 3
OPSD 705.010

PRECAST CONCRETE MAINTENANCE HOLE COMPONENTS
1200mm DIAMETER
TAPERED TOP AND FLAT CAP

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2014 Rev 4
OPSD 701.030

BEVEL DETAILS CIRCULAR AND PIPE-ARCH STRUCTURAL PLATE CORRUGATED STEEL PIPE

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2012 Rev 2
OPSD 801.030

FLEXIBLE PIPE EMBEDMENT AND BACKFILL EARTH EXCAVATION

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2014 Rev 3
OPSD 802.010

RIGID PIPE BEDDING, COVER, AND BACKFILL EARTH EXCAVATION

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 3
OPSD 802.030

GRATING FOR CONCRETE ENDWALL

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2013 Rev 1
OPSD 804.050

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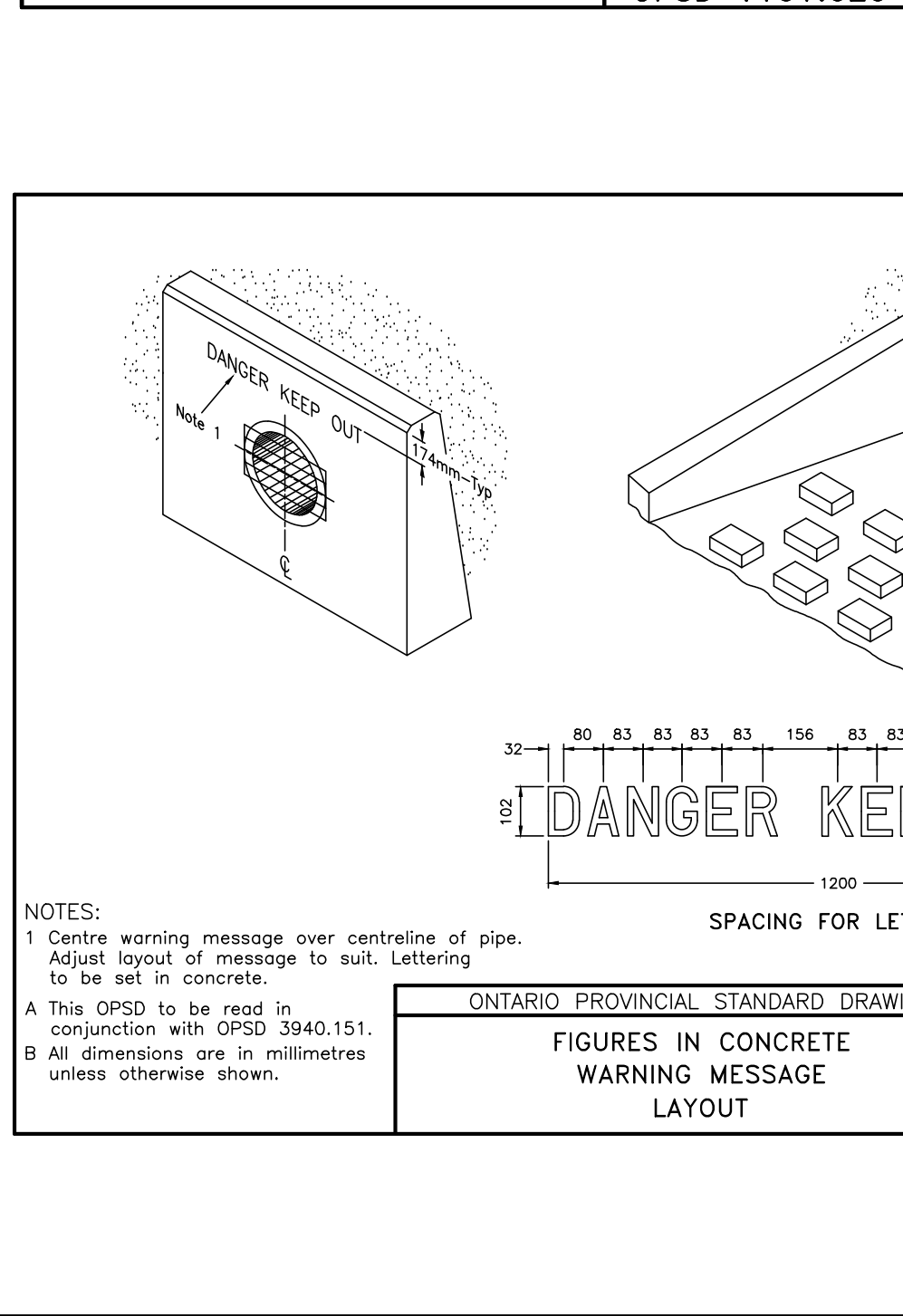
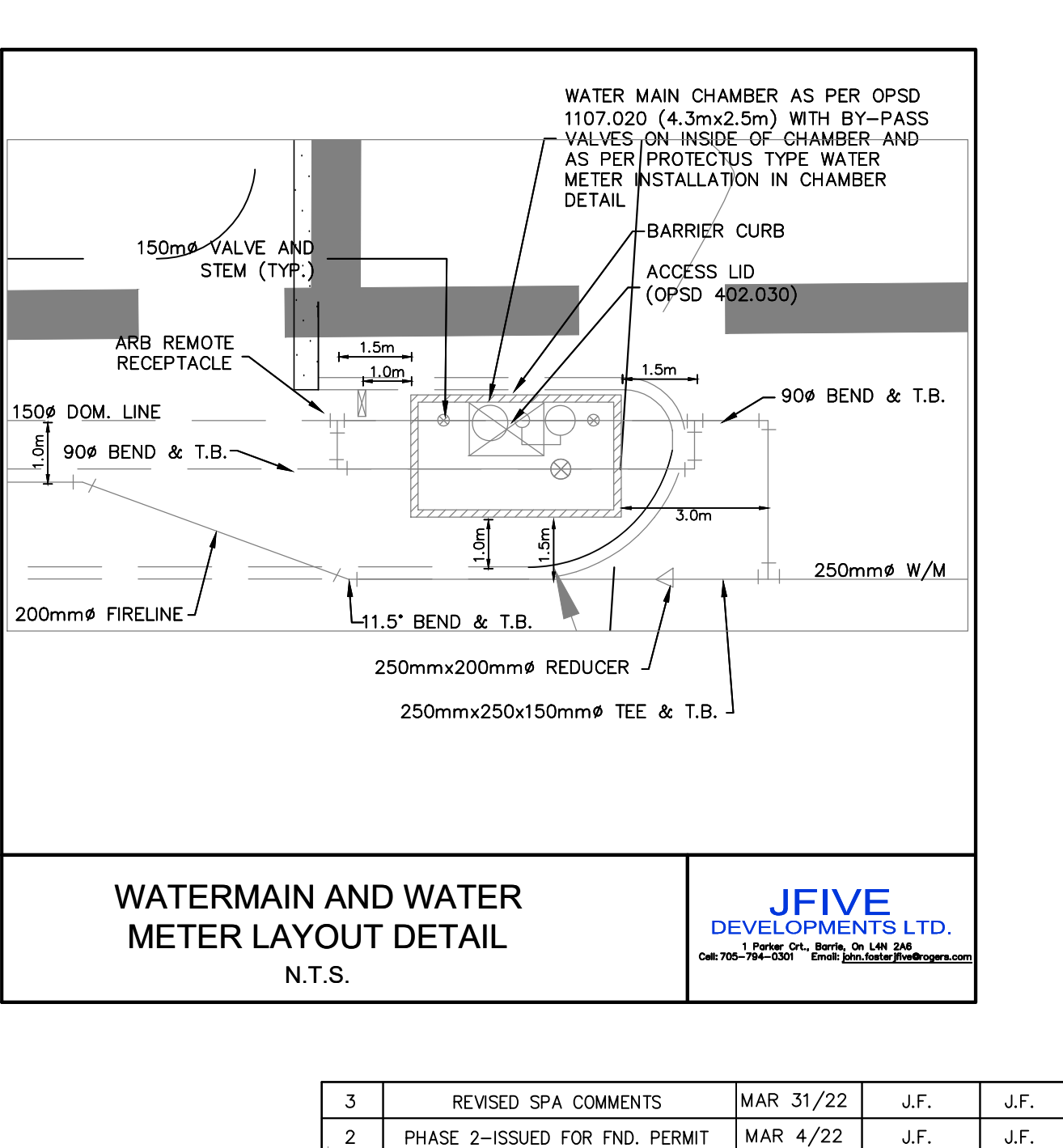
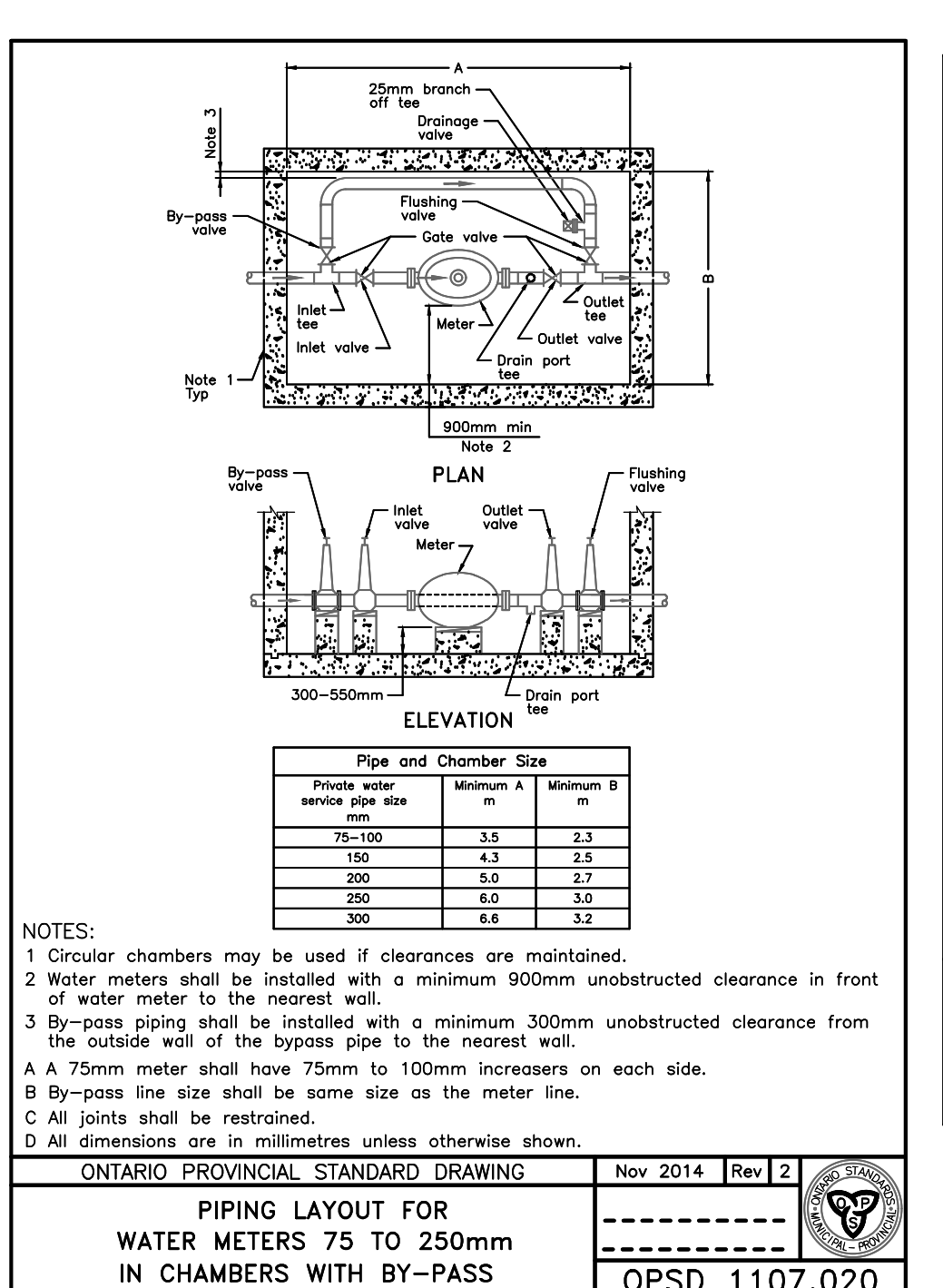
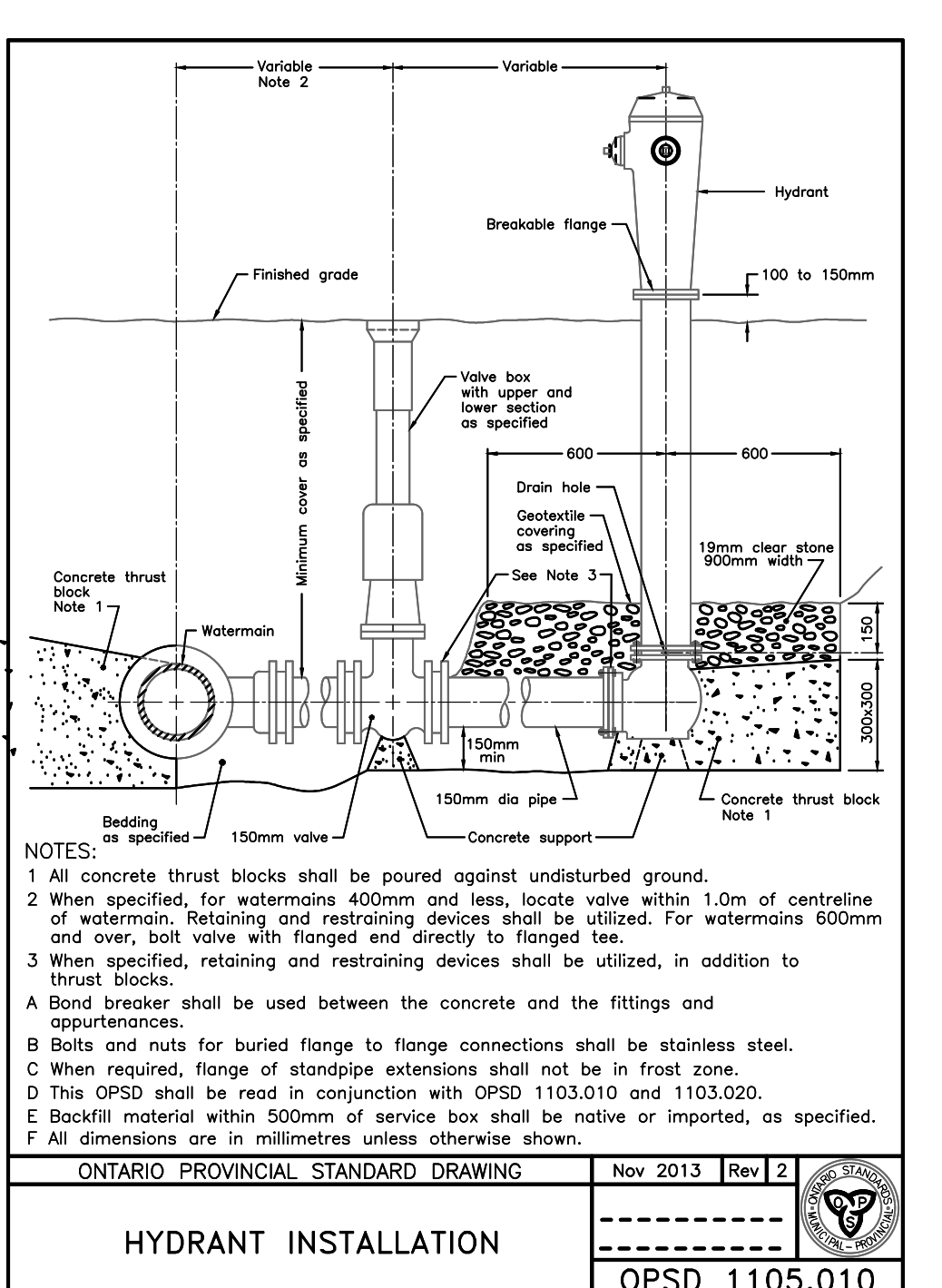
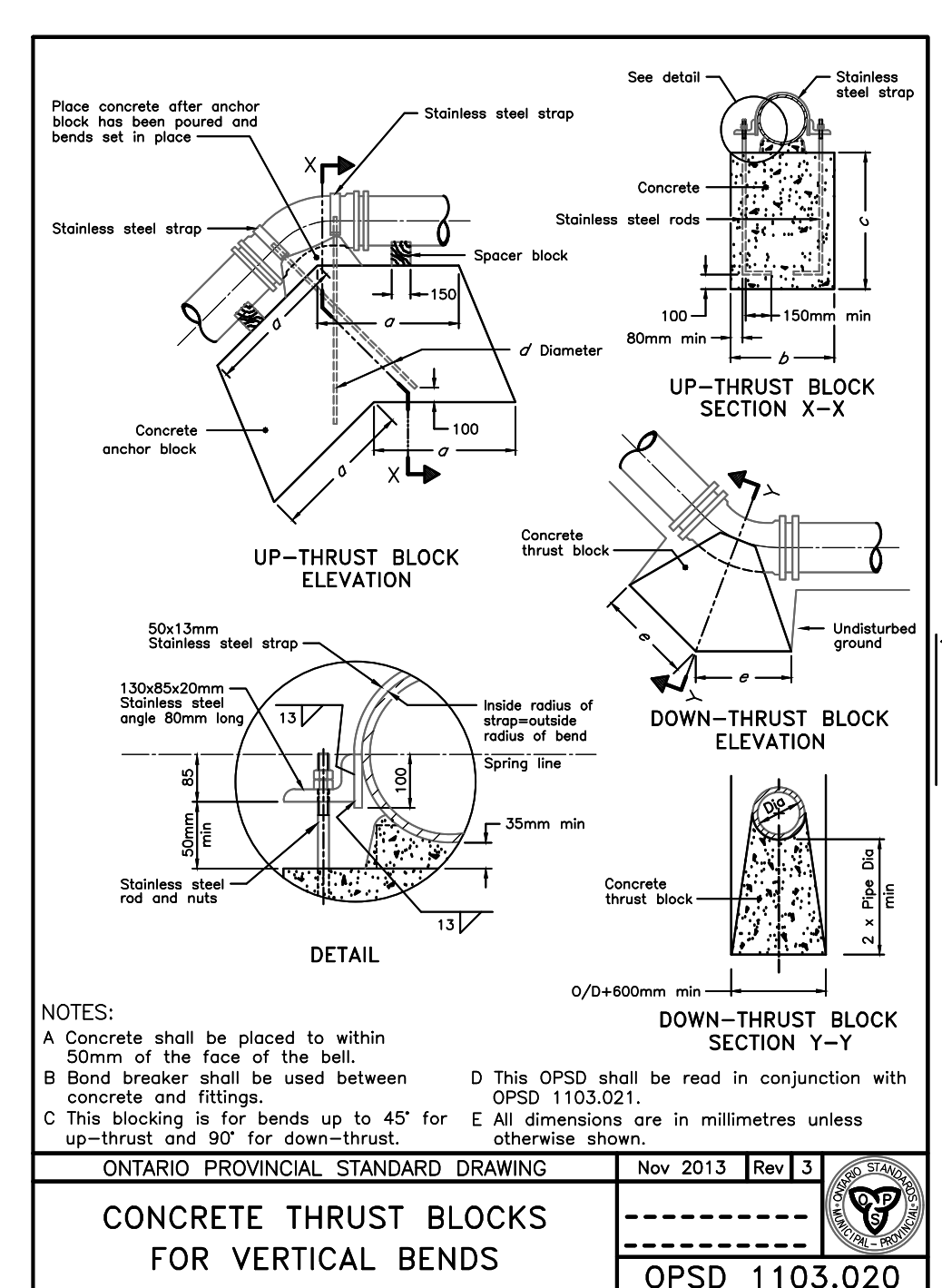
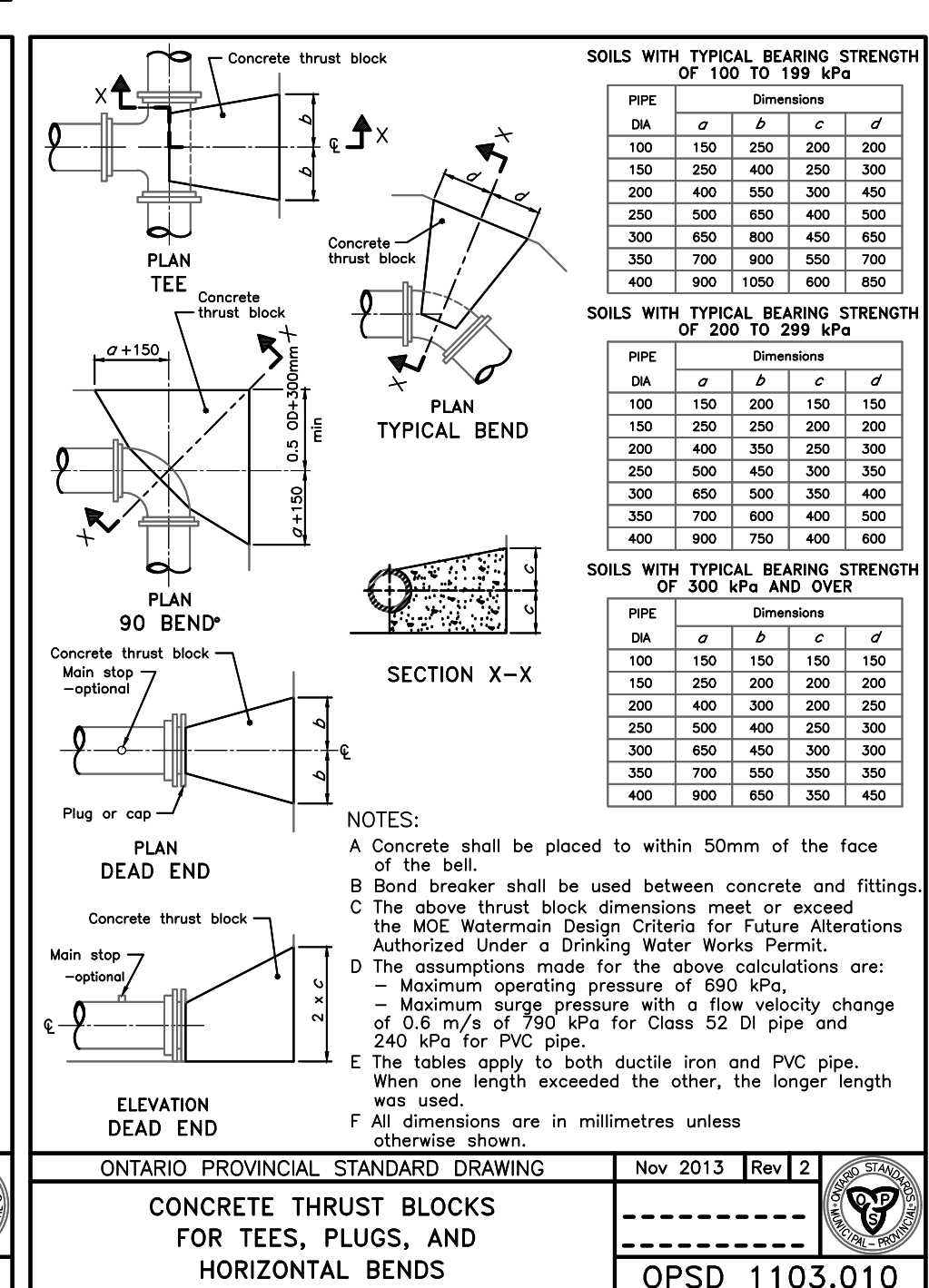
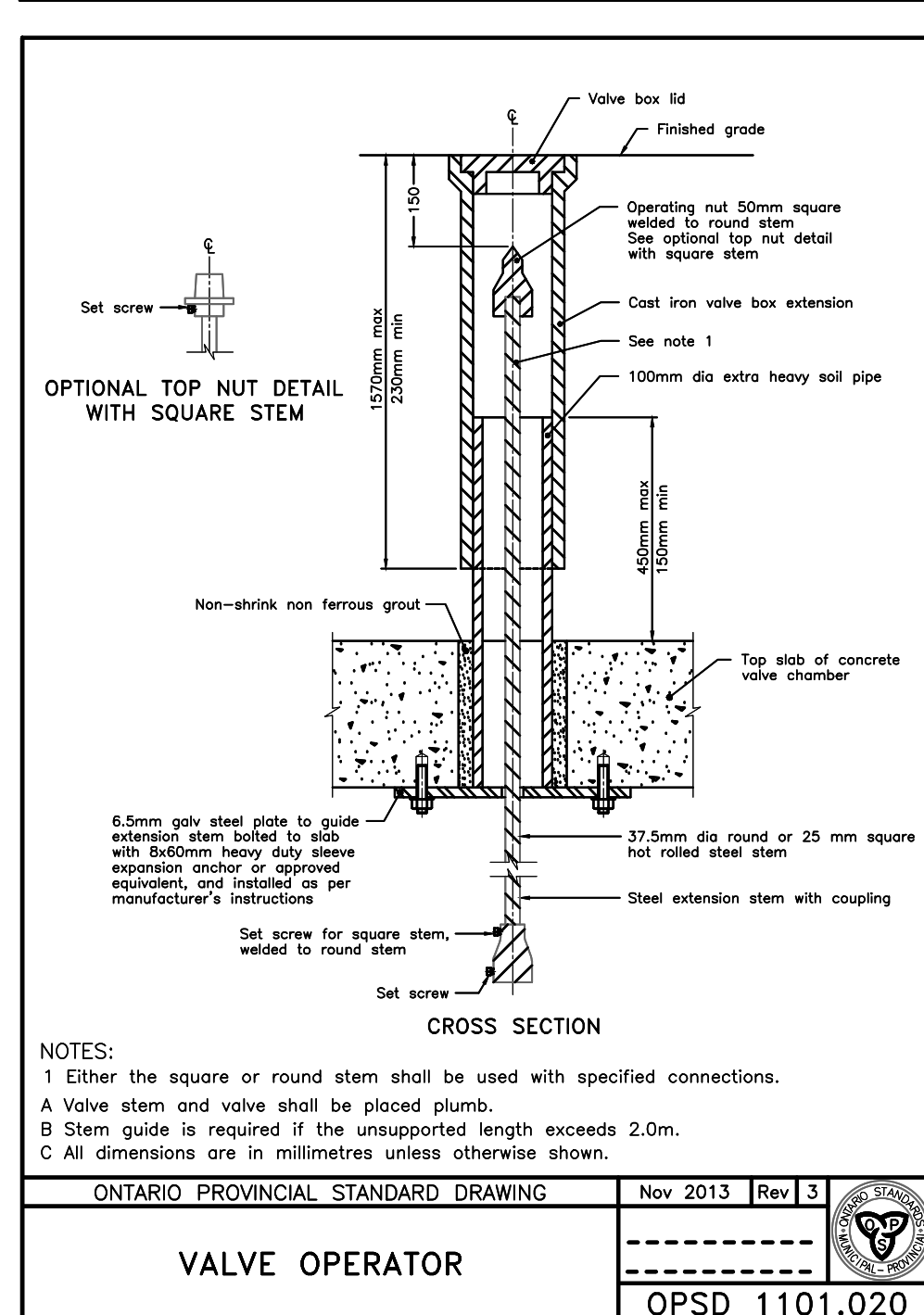
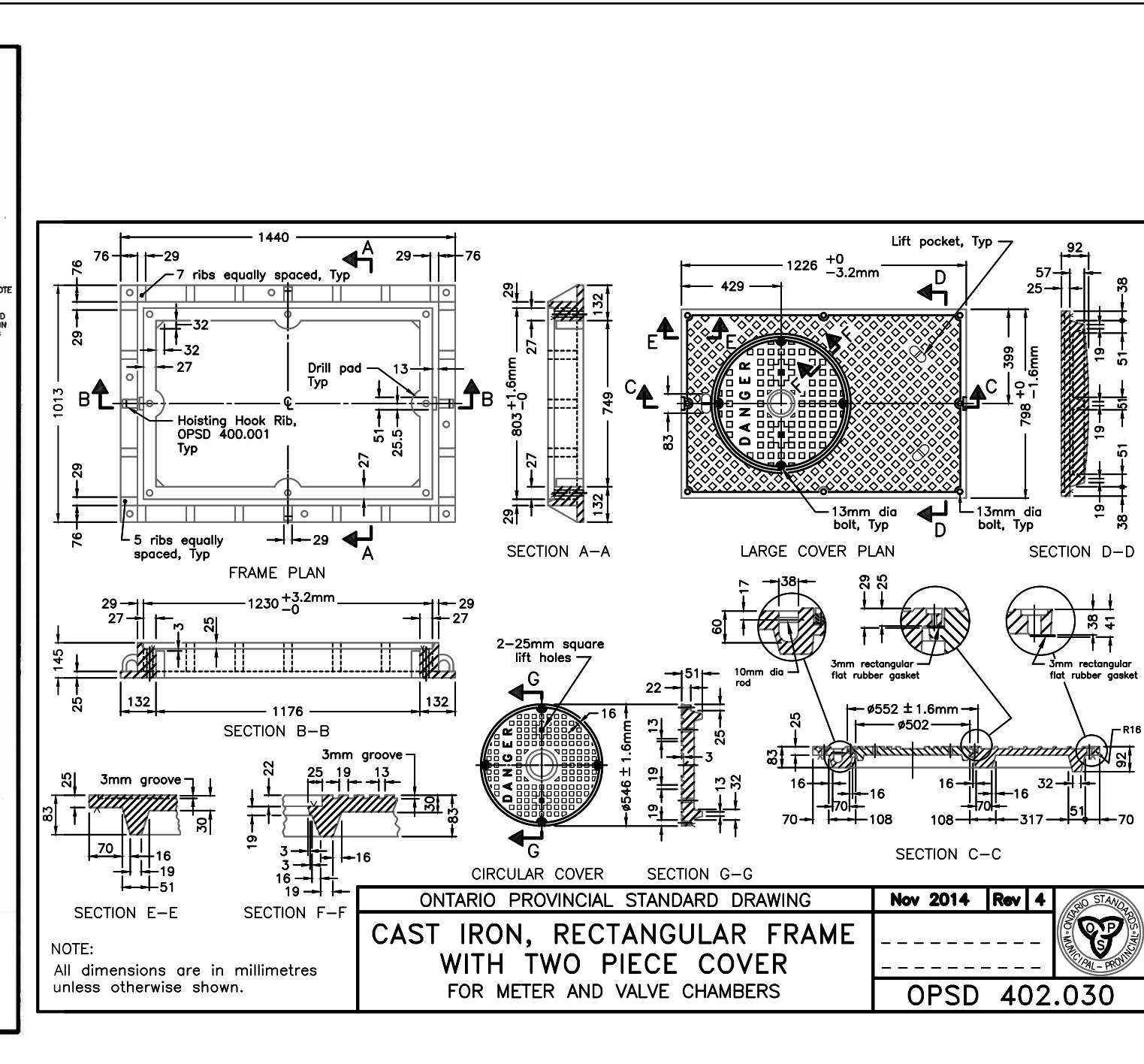
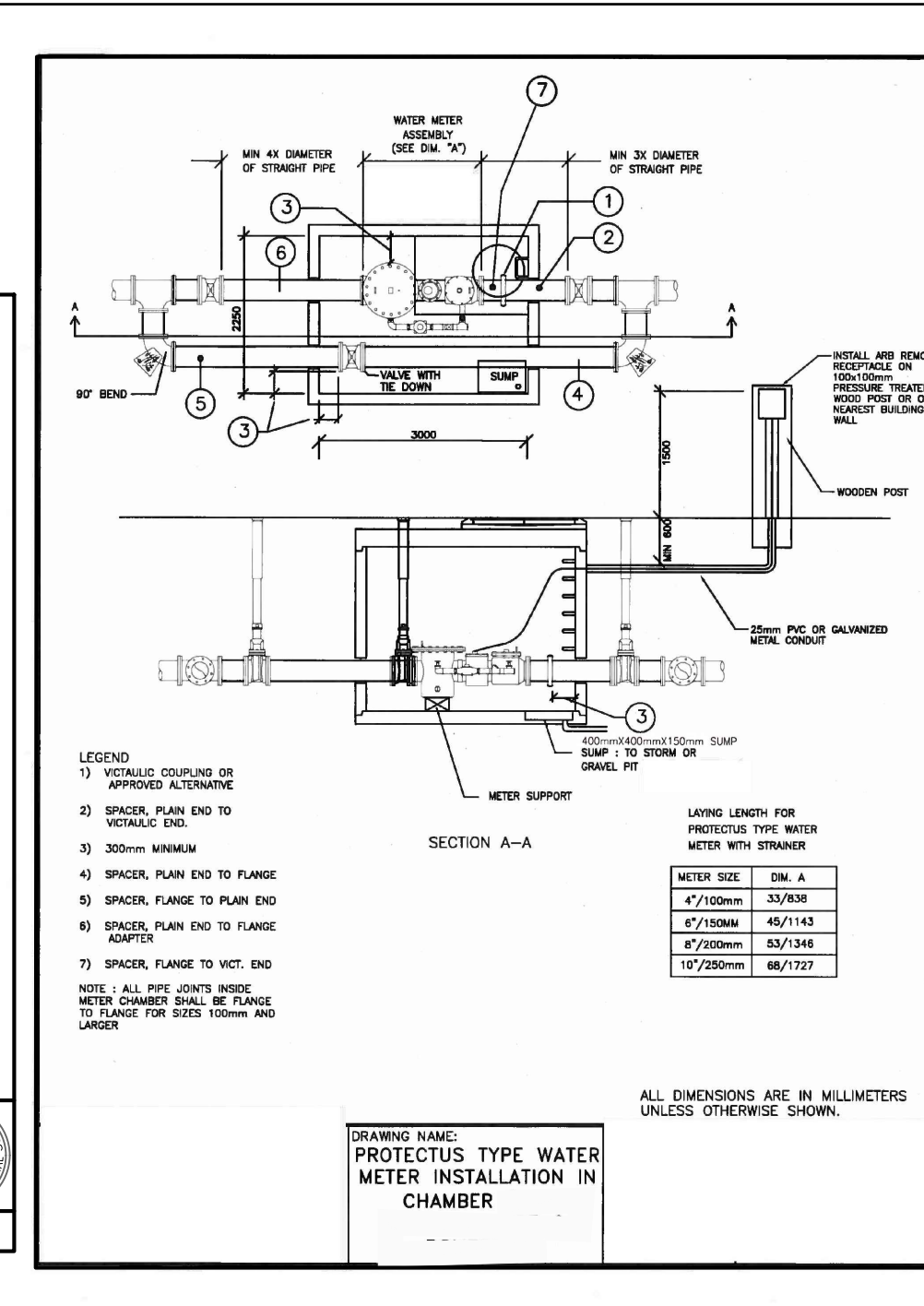
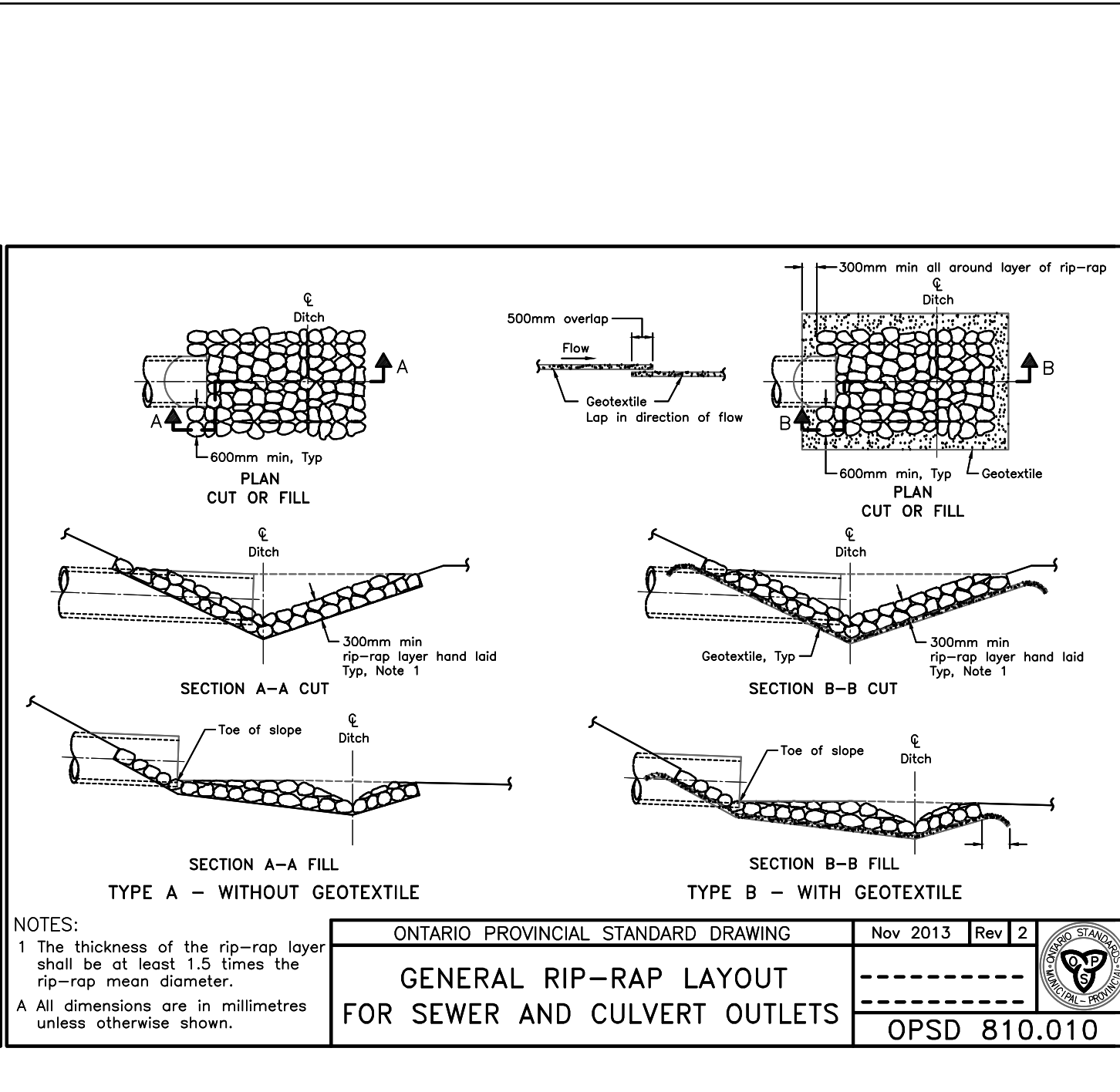
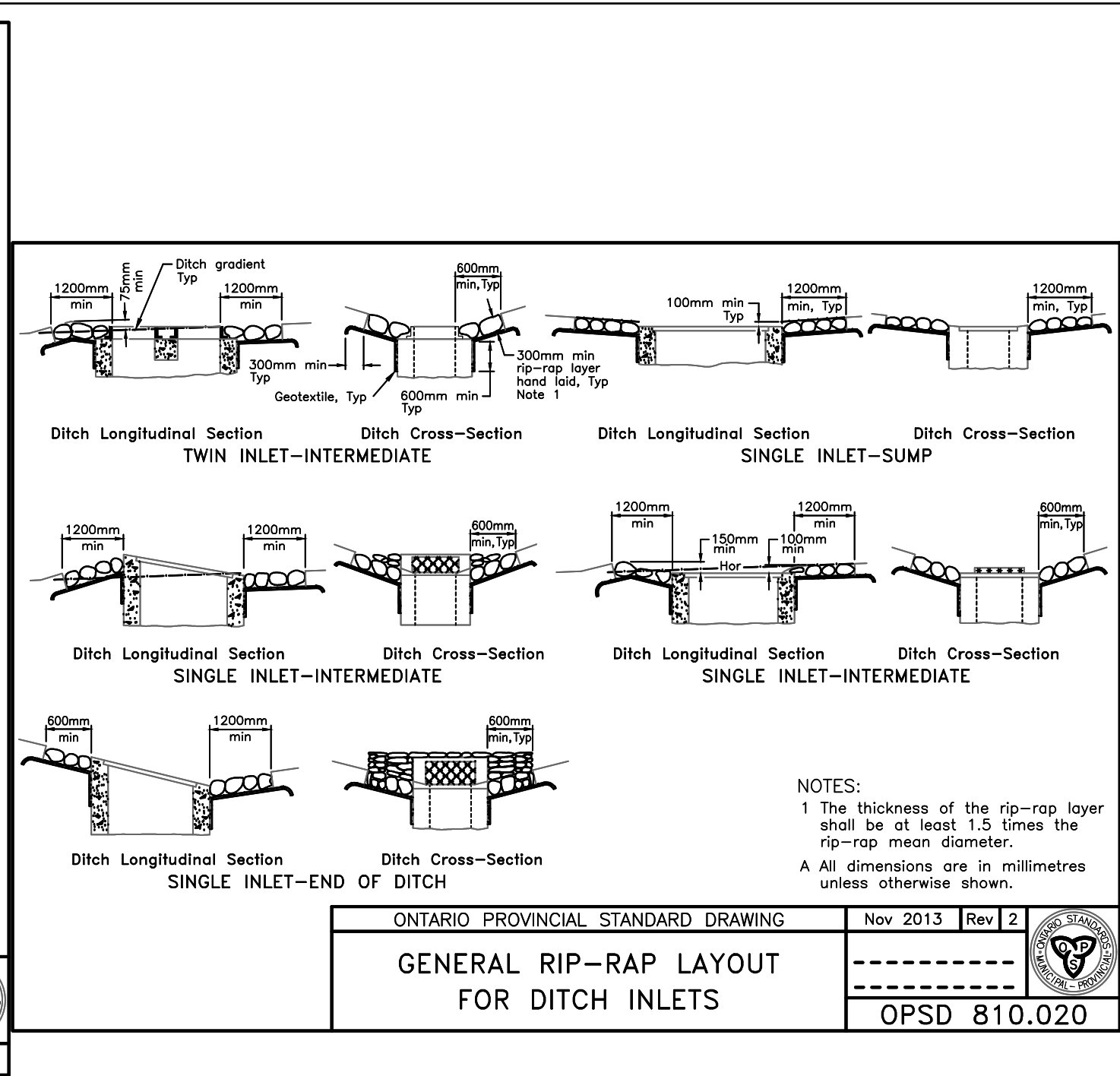
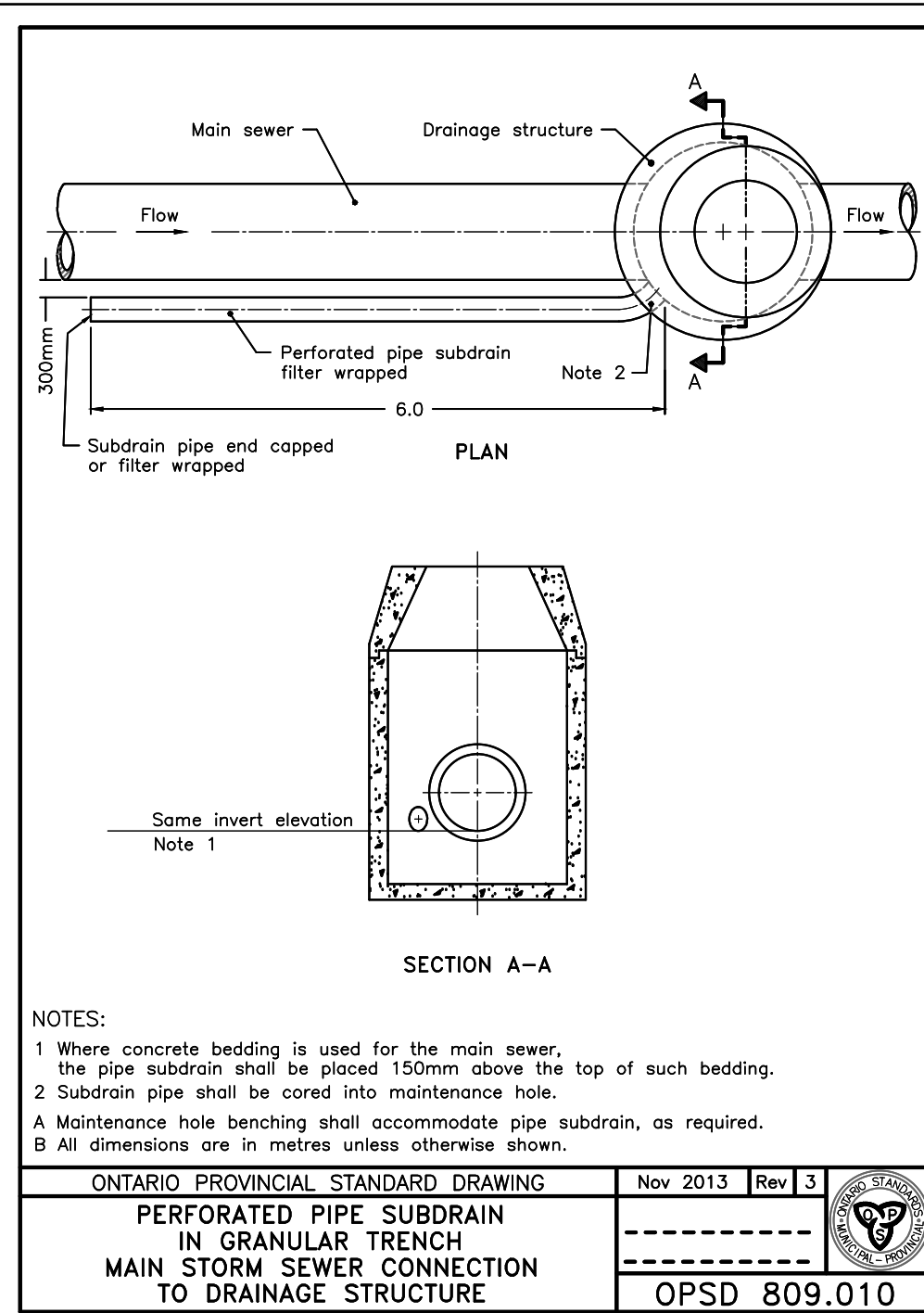
TOWN OF MIDLAND APPROVAL ENGINEER'S SEAL

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#658 KING STREET
TOWN OF MIDLAND

TITLE: **STANDARD DETAILS**

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Sanitary Structures

MH#	STD.	direction/diameter/invert	Phase 1 As Built Inverts
A	EX.MH	Ex. T/L = 202.60 Ex. 300 S. INV = 201.60 Ex. 300 E. INV = 201.20	202.60 201.60 201.20
1A	DOG HOUSE MH	T/L = 202.60 Ex. 300 W. INV = 200.96 300 N. INV = 201.02	202.60 200.96 201.02
2A	OPSD 701.010	T/L = 202.87 S. 300 INV = 200.71 E. 300 INV = 200.63	202.87 200.71 200.66
3A	OPSD 701.010	T/L = 205.20 W. 300 INV = 200.50 Ex. 300 N. INV = 200.42 SW. 200 INV = 200.67 E. 200 INV = 200.68	205.21 200.52 200.41 not completed 200.70
4A	OPSD 701.010	T/L = 206.10 N. 150 INV = 204.35 W. 200 INV = 204.20	206.10 204.35 204.20
5A	OPSD 701.010	T/L = 206.00 N. 150 INV = 203.38 E. 300 INV = 203.48 W. 200 INV = 203.43	206.00 203.38 203.48 203.43
6A	OPSD 701.010	T/L = 205.20 N. 150 INV = 202.67 E. 200 INV = 202.67 SE. 200 INV = 202.52	205.20 202.67 202.67 202.52
7A	OPSD 701.010	T/L = 205.73 N. 200 INV = 201.67 SE. 200 INV = 201.50 W. 200 INV = 201.42 SW. 200 INV = 202.70	205.75 201.67 201.49 201.39 201.50
B	EX.MH	Ex. T/L = 202.40 Ex. 300 S. INV = 200.10 Ex. 300 E. INV = 200.40 Ex. 300 N. INV = 200.10	202.40 200.10 200.40 200.10

Storm Structures

Structure #	OPSD STD.	direction/diameter/invert	Phase 1 As Built Inverts
CB1	705.010	T/L = 205.68 N 250 INV = 204.18	205.68 204.18
CB2	705.010	T/L = 205.55 S 250 INV = 203.79 N 300 INV = 203.74	205.55 203.79 203.74
CBM3	701.010	T/L = 205.83 S 300 INV = 203.54 W 300 INV = 203.39	205.83 203.54 203.40
CBM4	701.010	T/L = 205.44 S 300 INV = 203.69 N 300 INV = 203.64	205.44 203.69 203.64
CB5	705.010	T/L = 205.00 N 150 INV = 203.50 N 250 INV = 204.00	205.00 203.50 204.00
CB6	705.010	T/L = 205.00 S 150 INV = 203.50 N 250 INV = 204.00	205.00 203.50 204.00
CBM8	701.010	T/L = 205.46 SW 250 INV = 203.80 S 300 INV = 203.10 E 300 INV = 203.04 W 450 INV = 202.17	205.46 203.79 203.10 203.02 202.16
CBM10	701.010	T/L = 205.65 E 450 INV = 201.73 W 450 INV = 202.68	205.65 201.74 201.70
CB11	705.010	T/L = 205.86 N 250 INV = 204.36	205.86 204.36
CB12	705.010	T/L = 202.35 N 250 INV = 201.55	202.35 201.55
CBM13	701.010	T/L = 205.27 E 450 INV = 201.30 S 250 INV = 201.50 SW 300 INV = 201.40 NW 600 INV = 201.15	205.27 201.34 not installed not installed 201.15

Water Meters

MH#	701.010	T/L	SW 450 INV	SE 250 INV	NE 450 INV
CB17	705.010	T/L = 202.53 NW 250 INV = 201.53	202.56 201.38 201.13	202.53 201.53	201.13
CB18	705.010	T/L = 202.30 SE 250 INV = 201.24	202.30 201.24	202.30 201.24	201.24
CB19	705.010	T/L = 204.95 W 150 INV = 203.45	204.95 203.45	204.95 203.45	203.45
CB20	705.010	T/L = 204.95 E 150 INV = 204.35 S 300 = 204.35	204.95 204.35 204.35	204.95 204.35 204.35	204.35
CB21	705.010	T/L = 201.85 W 150 INV = 200.35	201.85 200.35	201.85 200.35	200.35
CB22	705.010	T/L = 201.85 E 150 INV = 200.35	201.85 200.35	201.85 200.35	200.35
CB23	705.010	T/L = 205.69 N 250 INV = 204.19	205.69 204.19	205.69 204.19	204.19
CBM24	701.010	T/L = 205.60 S 250 INV = 203.60 W 300 INV = 203.50	205.60 203.60 203.50	205.60 203.60 203.50	203.50
CB25	705.010	T/L = 204.80 S 250 INV = 203.65	204.80 203.65	204.80 203.65	203.65
MH26	701.010	T/L = 205.65 E 300 INV = 203.16 S 300 INV = 203.56 W 375 INV = 203.08	205.65 203.16 203.56 203.08	205.65 203.16 203.56 203.08	203.08
CBM27	701.010	T/L = 205.90 E 200 INV = 203.80 N 250 INV = 203.70	205.90 203.80 203.70	205.90 203.80 203.70	203.70
CB28	705.010	T/L = 205.40 N 300 INV = 203.45 S 300 INV = 203.49	205.40 203.45 203.49	205.40 203.45 203.49	203.49
CB29	705.010	T/L = 205.40 S 300 INV = 203.45 N 300 INV = 203.95	205.40 203.45 203.95	205.40 203.45 203.95	203.95

Water Meters

MH30	701.010	T/L	E 375 INV	S 375 INV	W 300 INV
CB31	705.010	T/L = 204.78 S 250 INV = 203.28	204.78 203.28	204.78 203.28	203.28
CBM32	701.010	T/L = 205.50 E 200 INV = 203.72 W 200 INV = 203.37 N 300 INV = 203.27	205.50 203.72 203.37 203.27	205.50 203.72 203.37 203.27	203.27
CB33	705.010	T/L = 205.00 S 300 INV = 203.03 N 300 INV = 202.98	205.00 203.03 202.98	205.00 203.03 202.98	202.98
CB34	705.010	T/L = 205.00 S 300 INV = 202.98 N 300 INV = 203.48	205.00 202.98 203.48	205.00 202.98 203.48	203.48
CBM35	701.010	T/L = 203.83 E 375 INV = 201.98 S 450 INV = 201.88	203.83 201.98 201.88	203.83 201.98 201.88	201.88
CB36	705.010	T/L = 203.83 S 250 INV = 202.33	203.83 202.33	203.83 202.33	202.33
OGS1	STC 6000	T/L = 203.25 SW 450 INV = 200.98 SE 600 INV = 200.87 N 600 INV = 200.77	203.25 200.98 200.87 200.77	203.25 200.98 200.87 200.77	200.77
OGS2	STC 3000	T/L = 204.07 N 450 INV = 201.78 W 450 INV = 201.68	204.07 201.78 201.68	204.07 201.78 201.68	201.68
HW1	804.030	INLET 450 INV = 201.20	201.20	201.20	201.20
HW2	804.040	INLET 600 INV = 200.74	200.74	200.74	200.74
HW3	804.040	INLET 450 INV = 201.56	201.56	201.56	201.56

Schedule of Revisions

3	REVISED SPA COMMENTS	MAR 31/22	J.F.	J.F.
2 <td>PHASE 2-ISSUED FOR FND. PERMIT</td> <td>MAR 4/22</td> <td>J.F.</td> <td>J.F.</td>	PHASE 2-ISSUED FOR FND. PERMIT	MAR 4/22	J.F.	J.F.
1 <td>SITE PLAN AMENDMENT PHASE 2</td> <td>OCT 26/21</td> <td>J.F.</td> <td>J.F.</td>	SITE PLAN AMENDMENT PHASE 2	OCT 26/21	J.F.	J.F.

PROJECT: VILLA RETIREMENT LODGE PHASE 2 #658 KING STREET TOWN OF MIDLAND

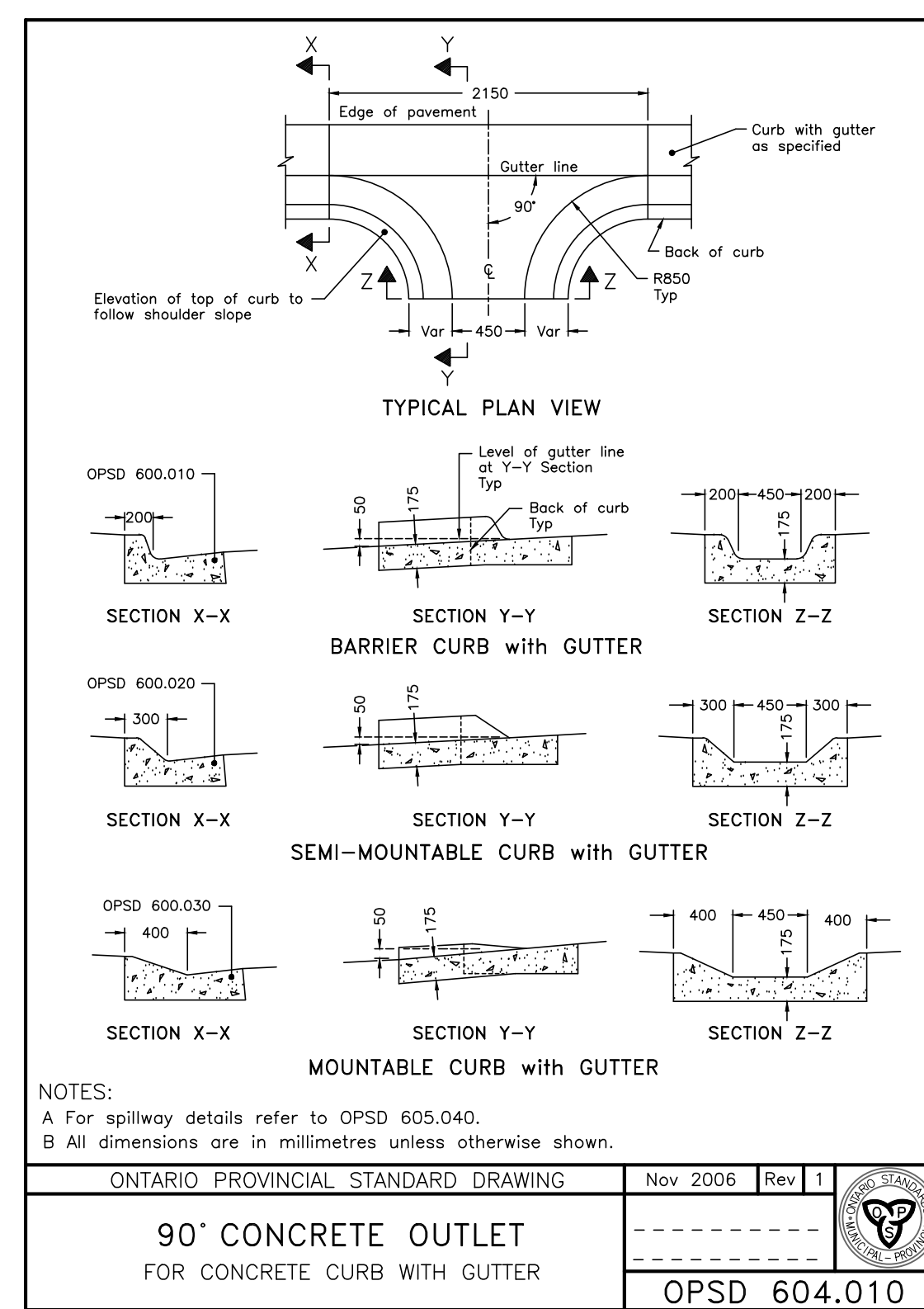
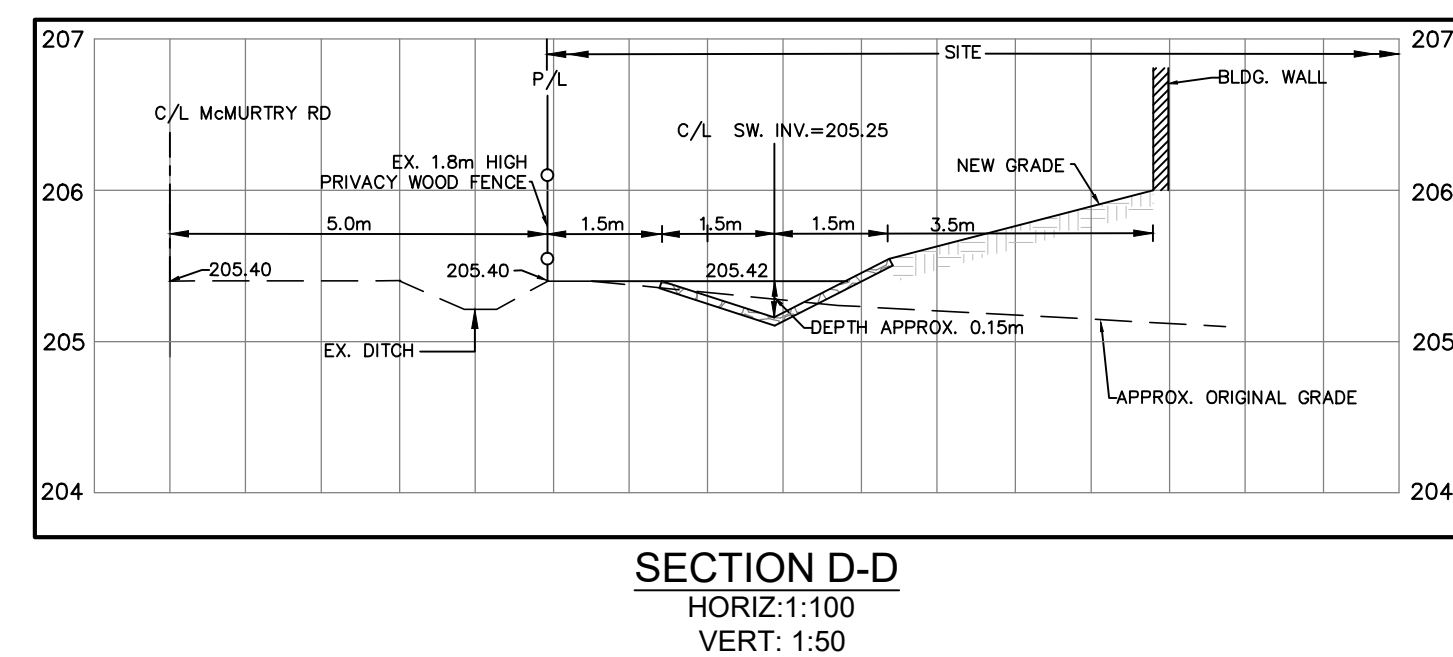
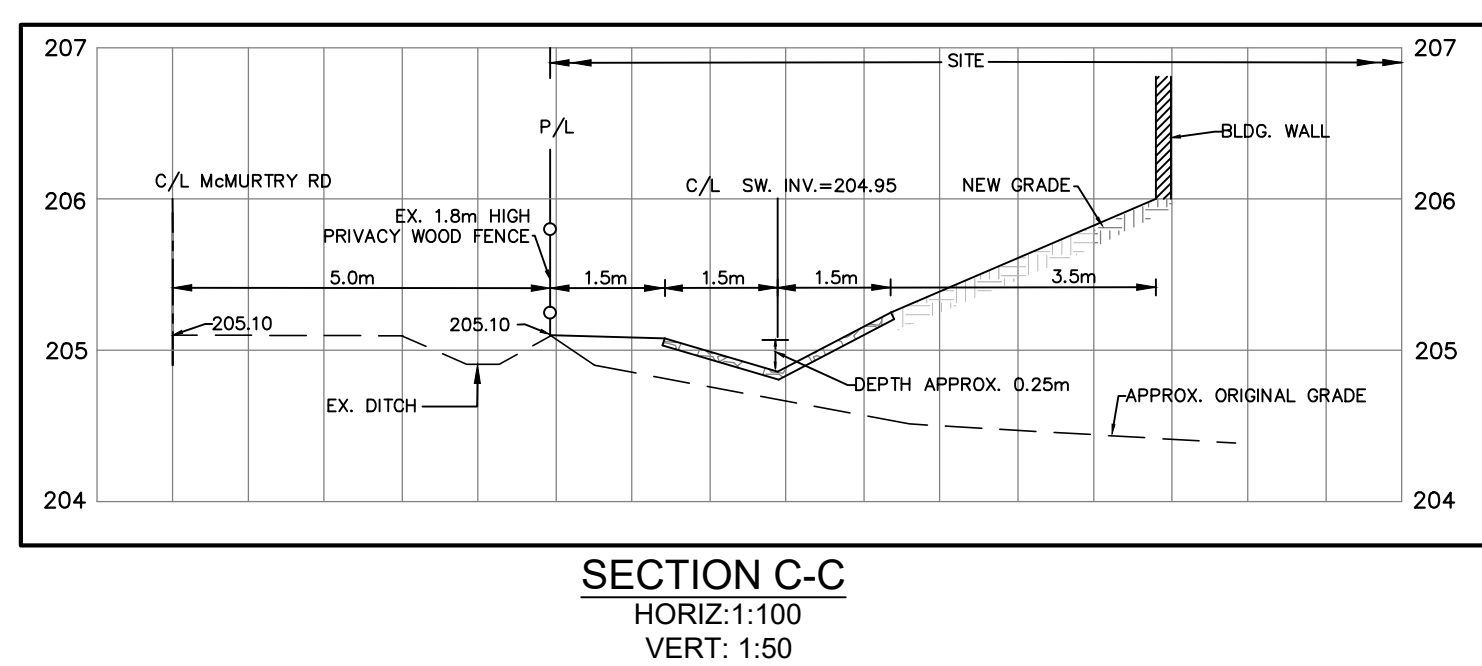
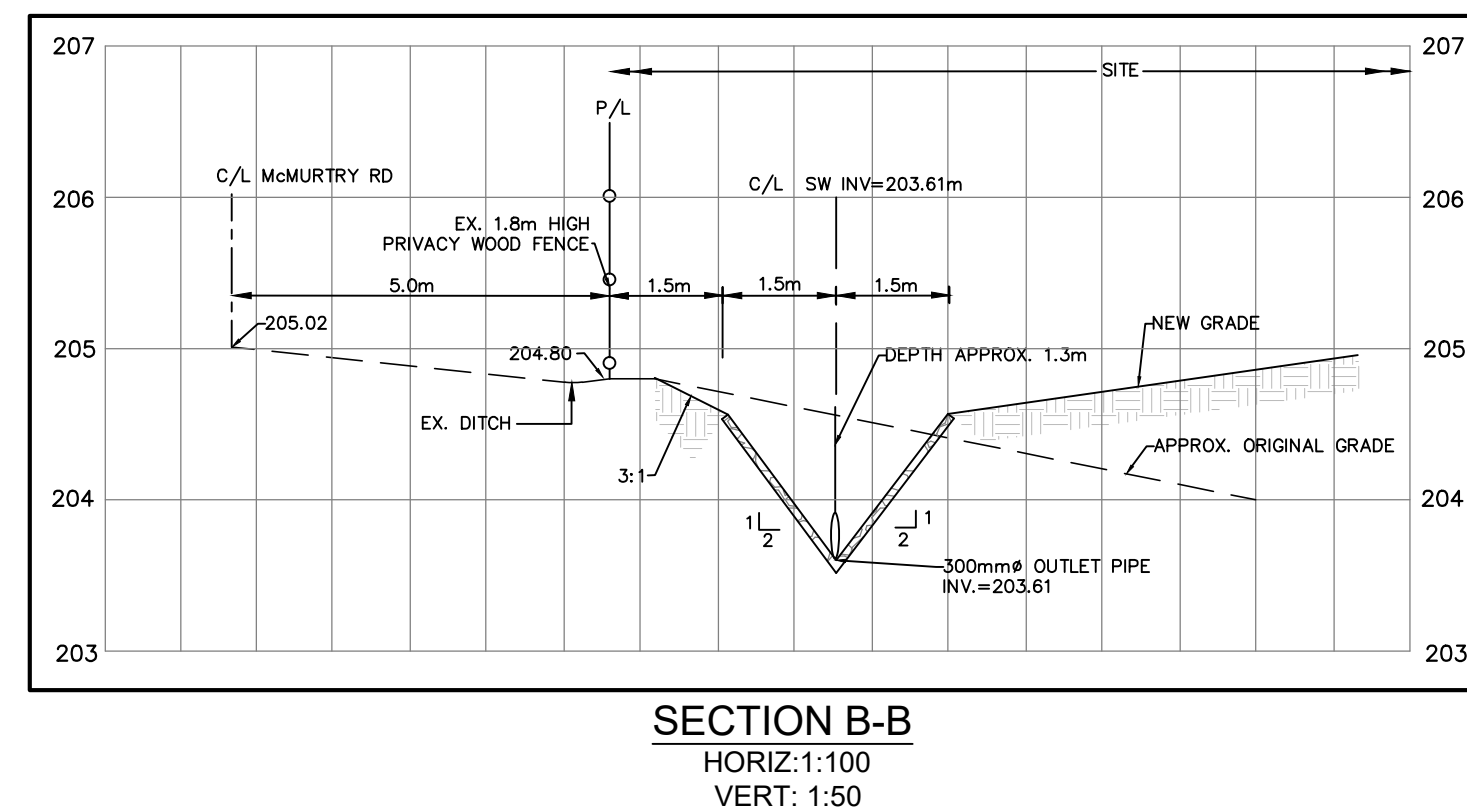
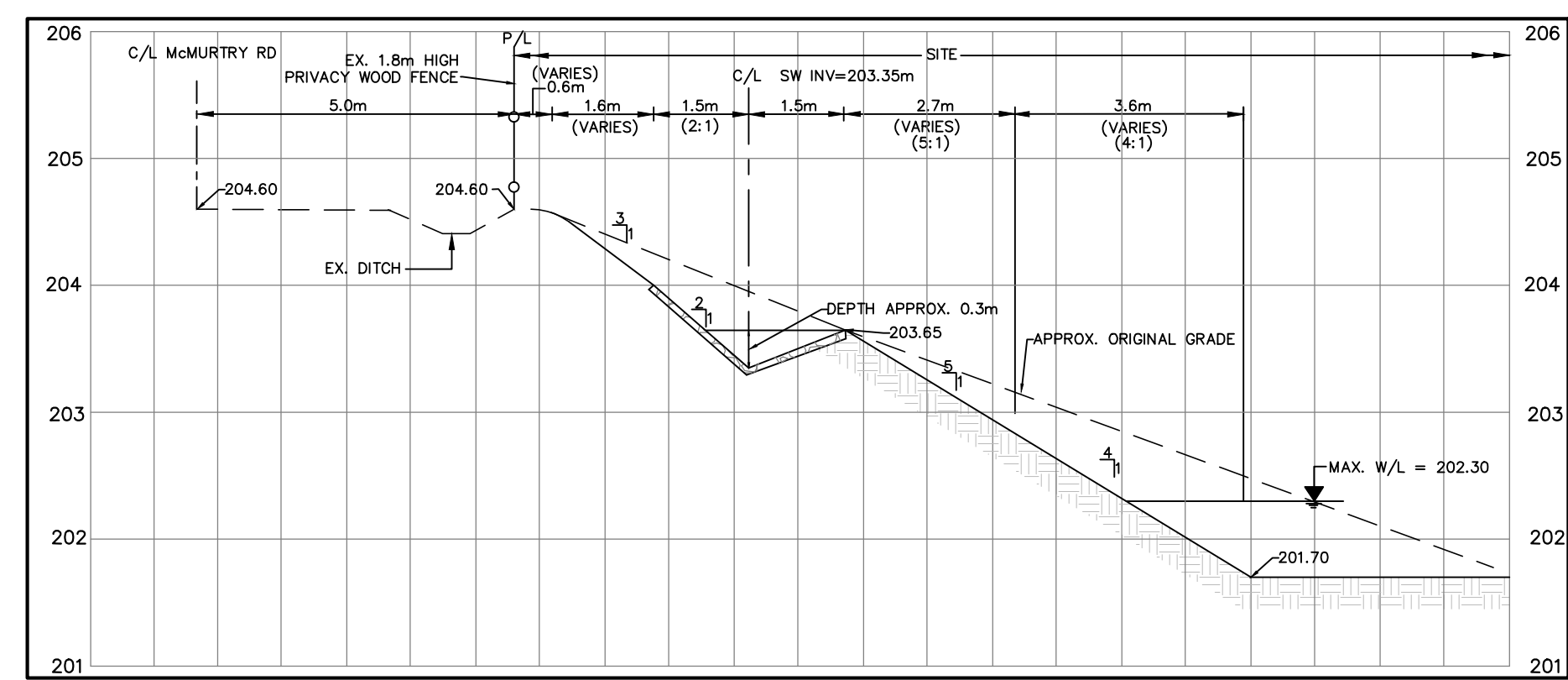
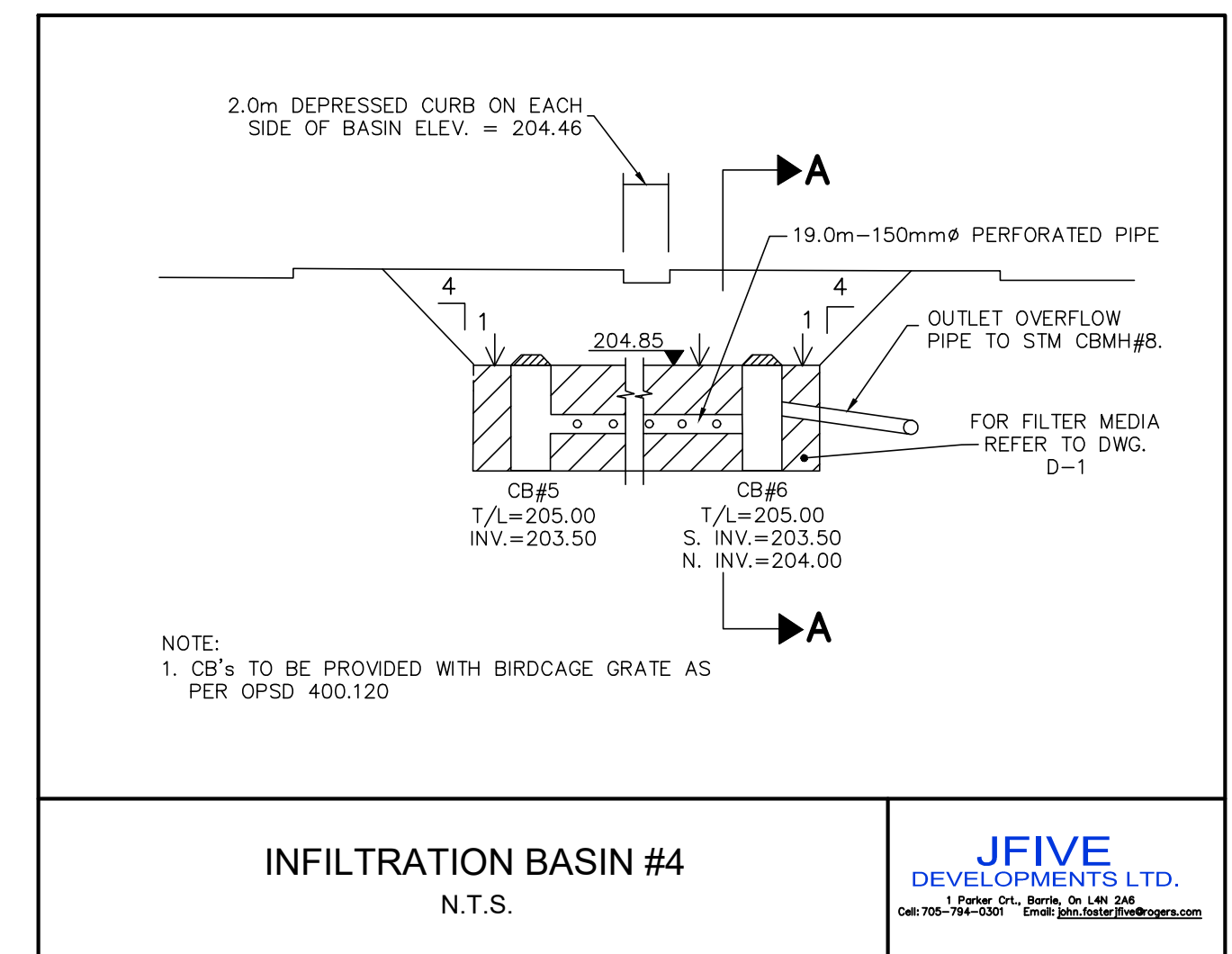
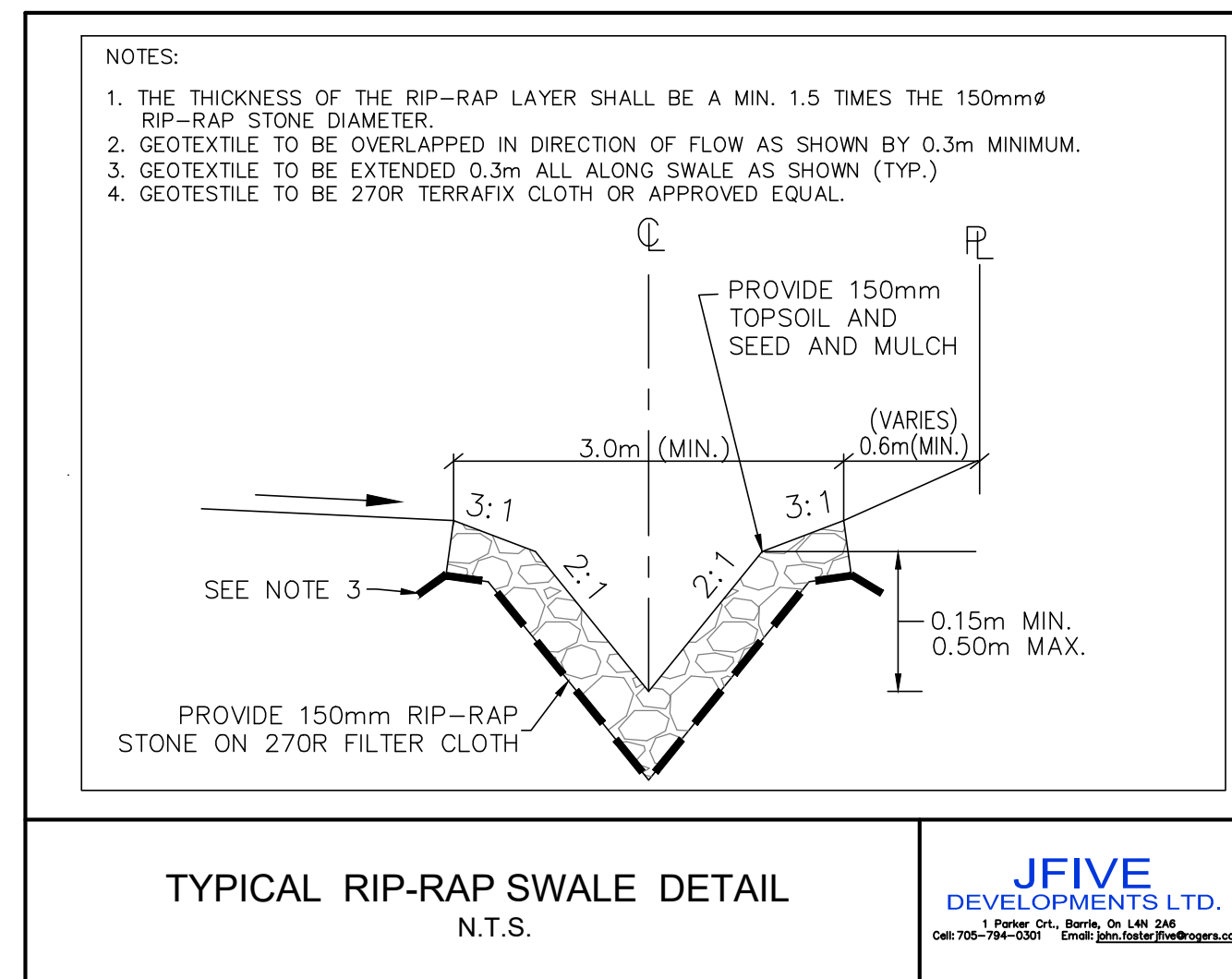
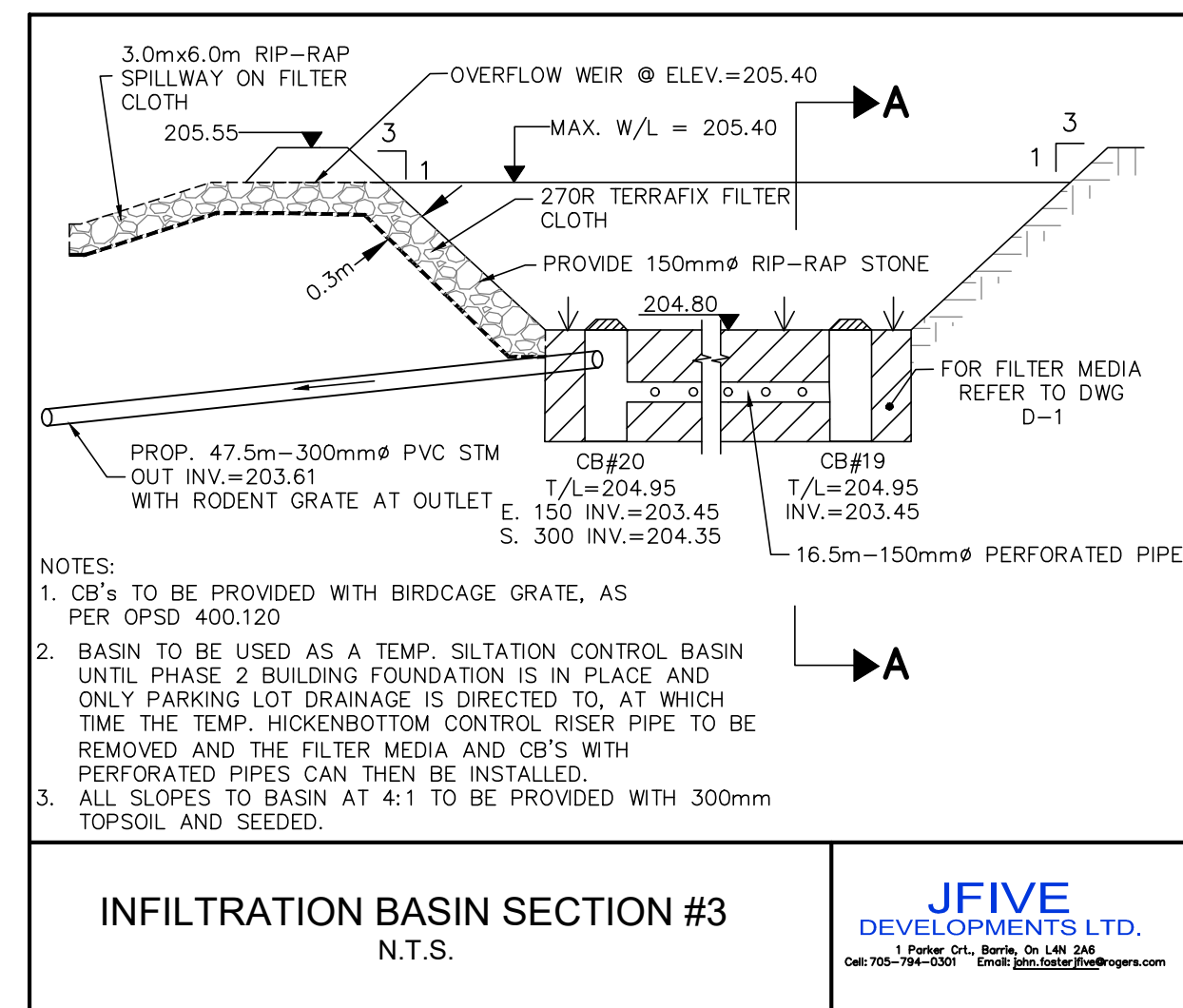
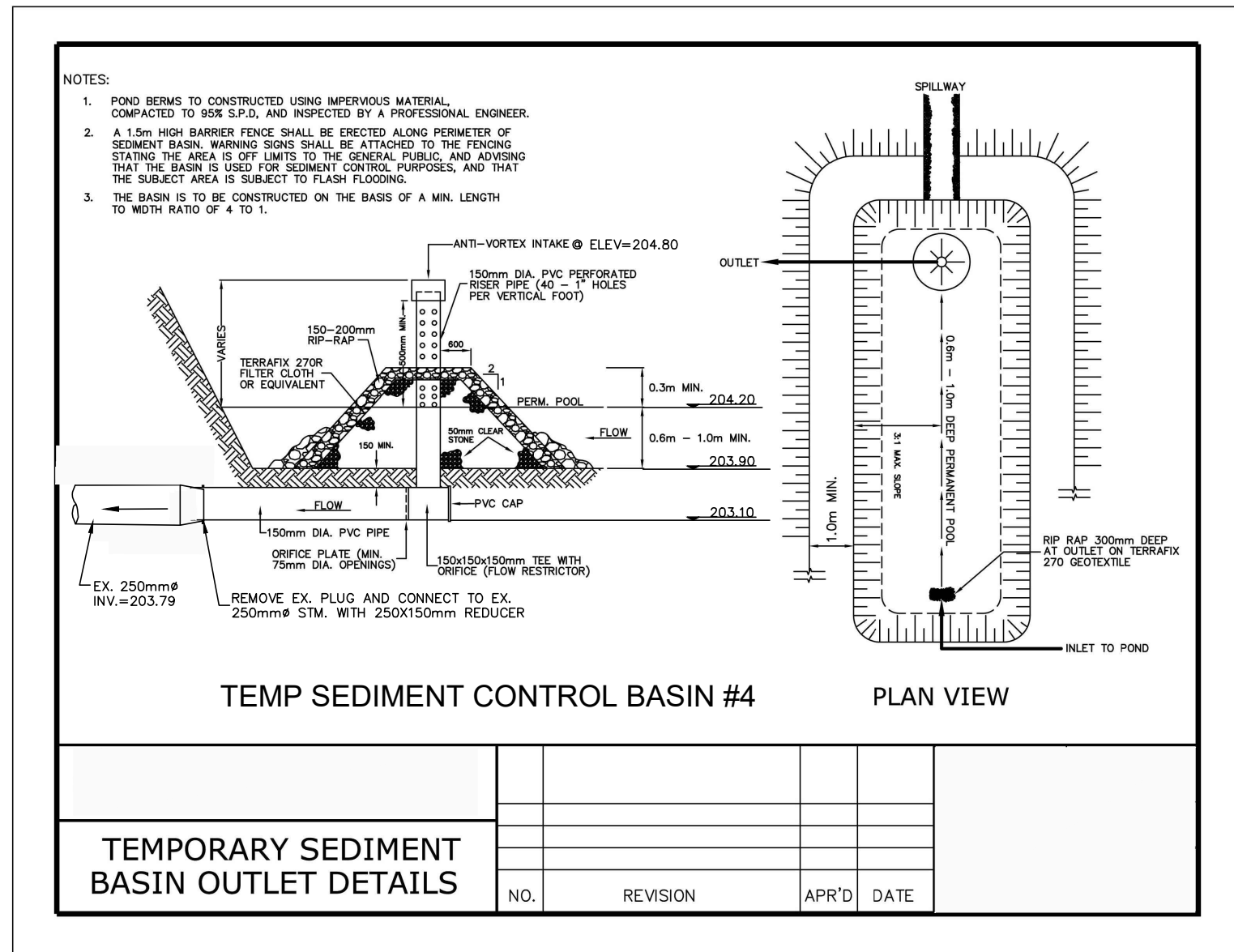
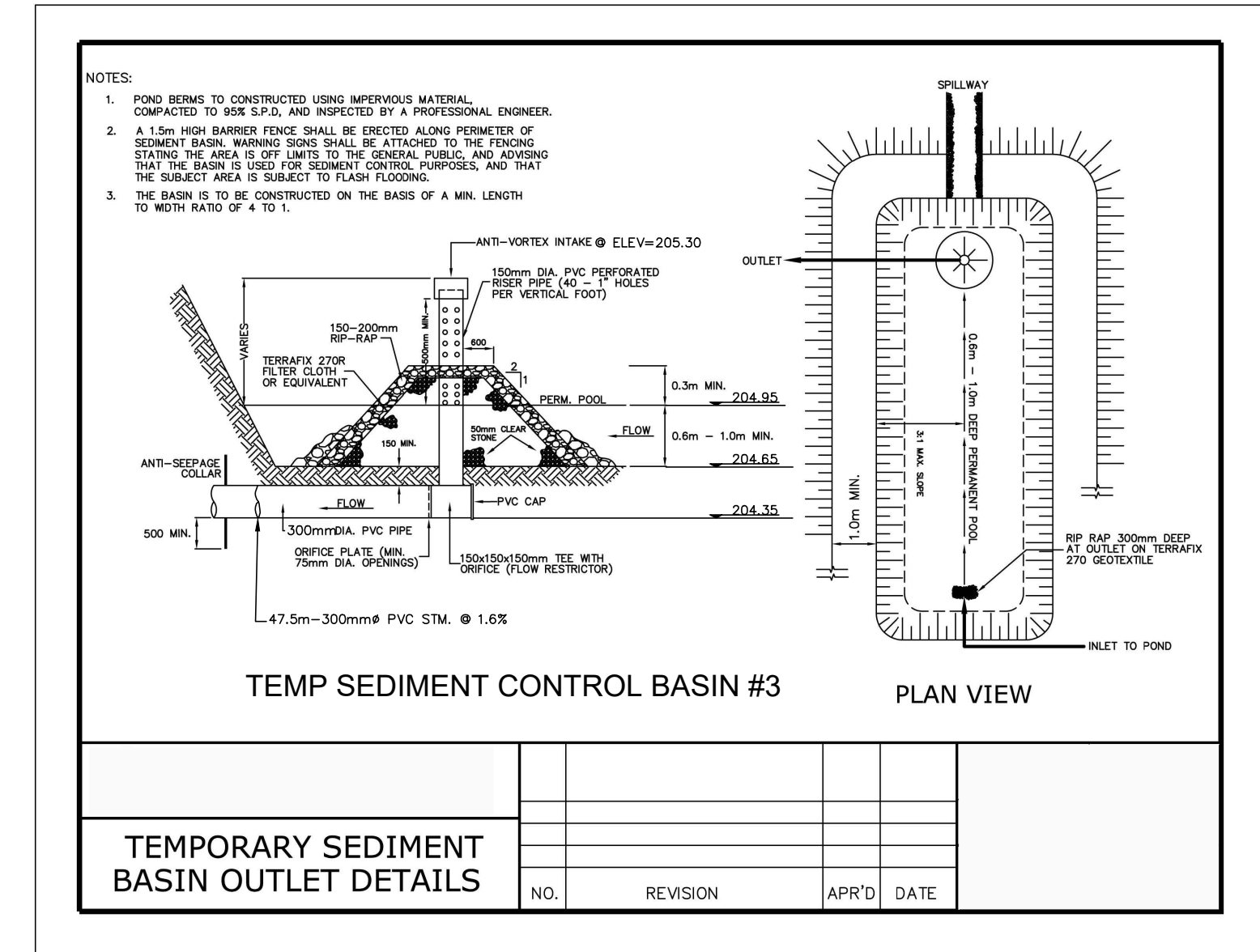
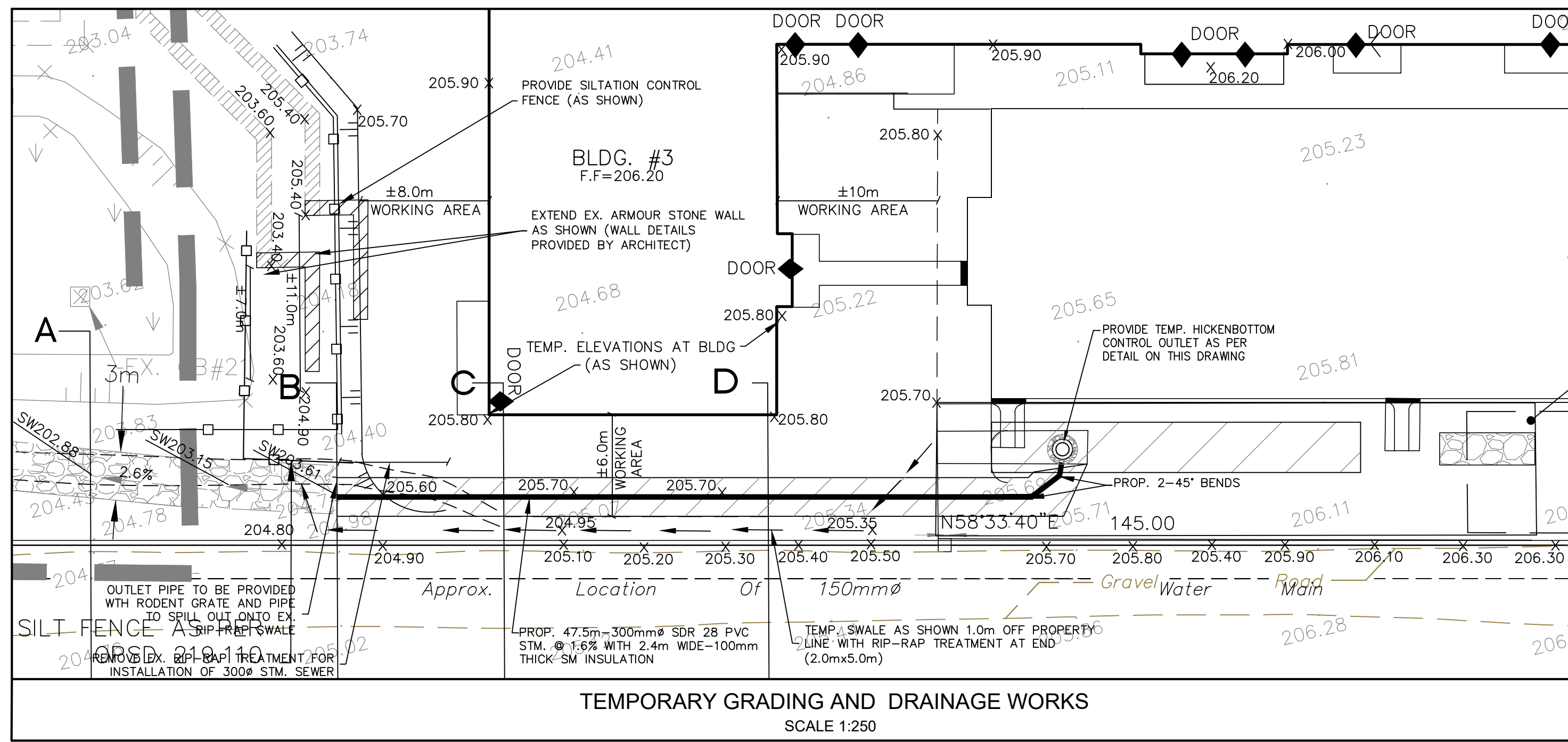
TITLE: STANDARD DETAILS

CONSULTING ENGINEER: JFIVE DEVELOPMENTS LTD.

1 Parker Cr., Barrie, On L4N 2A6
Cell: 705-794-0301 Email: john.foster@jfive.com

TOWN OF MIDLAND

DRAWN: GEMCAD INC. SCALE: DWG. No. PROJECT No.
DESIGNED: J.F. HOR: 1:500 D-5 077
CHECKED: J.F. DATE: JULY 2017



ITEM	DESCRIPTION	DATE	BY	APPRVD
3	REVISED SPA COMMENTS	MAR 31/22	J.F.	J.F.
2	PHASE 2-ISSUED FOR FND. PERMIT	MAR 4/22	J.F.	J.F.
1	SITE PLAN AMENDMENT PHASE 2	OCT 26/21	J.F.	J.F.

SCHEDULE OF REVISIONS

NO.	REVISION	APR'D	DATE

TOWN OF MIDLAND APPROVAL

ENGINEER'S SEAL

J. FOSTER
MARCH 27 2022
Civil
PROVINCE OF ONTARIO

PROJECT: **VILLA RETIREMENT LODGE PHASE 2 #658 KING STREET TOWN OF MIDLAND**

TITLE: **STANDARD DETAILS**

CONSULTING ENGINEER: **JFIVE DEVELOPMENTS LTD.**
1 Parker Crt., Barrie, ON L4N 2A6
Cell: 705-794-0301 Email: john.foster@jfive.com

TOWN OF MIDLAND

DRAWN: GEMCAD INC.	SCALE:	DWG. No.	PROJECT No.
DESIGNED: J.F.	HOR: 1:500	D-6	077
CHECKED: J.F.	DATE: JULY 2017		