



THE CARDIFF - PROPOSED APARTMENT COMPLEX
LANDINGS AT ABERDARE BUILD 1
 786 WILLIAM ST. - MIDLAND, ON

PROJECT ARCHITECT



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 N2B 3X9
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LANDSCAPE ARCHITECT



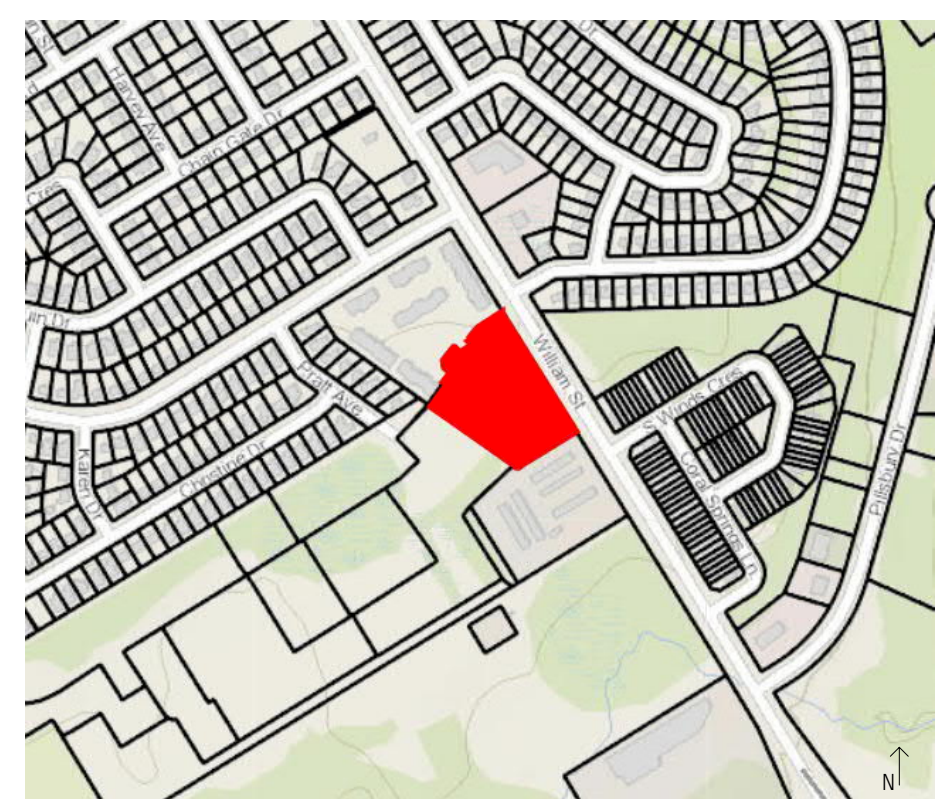
ABOUD & ASSOCIATES INC.
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DRAWING LIST		DRAWING LIST	
SITE PLAN APPLICATION		PERMIT APPLICATION	
ARCHITECTURAL		ARCHITECTURAL	
A1.0	TITLE SHEET SITE PLAN	A1.0	TITLE SHEET SITE PLAN
BUILDING 1		A1.1	PROJECT DATA
A4.0	BUILDING ELEVATIONS	A1.2	AREA PLANS AND SCHEDULES
A4.1	BUILDING ELEVATIONS	A1.3	AREA PLANS AND SCHEDULES
BUILDING 2		A2.0	FOUNDATION PLAN
A4.0	BUILDING ELEVATIONS	A2.1	BASEMENT PLAN
A4.1	BUILDING ELEVATIONS	A2.2	1ST FLOOR PLAN
STRUCTURAL		A2.3	TYPICAL FLOOR PLAN 2-3
N/A		A2.4	4TH FLOOR PLAN
MECHANICAL		A2.5	ATTIC PLAN
N/A		A2.6	ROOF PLAN
ELECTRICAL		A2.7	REFLECTED CEILING PLAN
ES.1	ELECTRICAL SITE PLAN	A2.8	REFLECTED CEILING PLAN
ES.2	ELECTRICAL SITE PLAN NOTED AND DETAILS	A3.0	DETAIL UNIT PLANS
ES.3	ELECTRICAL SITE PLAN NOTED AND DETAILS	A3.1	DETAIL UNIT PLANS
CIVIL		A3.2	DETAIL UNIT PLANS
C1.1	REMOVALS PLAN	A4.0	BUILDING ELEVATIONS
C2.1	SITE GRADING PLAN	A4.1	BUILDING ELEVATIONS
C2.2	SITE SERVING PLAN	A5.0	BUILDING SECTIONS
C2.3	DETAILS AND NOTES PLAN 1	A5.1	BUILDING SECTIONS
C2.4	DETAILS AND NOTES PLAN 2	A5.2	STAIR A SECTION AND PLAN DETAILS
ES1.1	EROSION AND SEDIMENT CONTROL PLAN	A5.3	STAIR B SECTION AND PLAN DETAILS
LANDSCAPE		A6.0	DETAILS
L1	LANDSCAPE PLAN	A6.1	DETAILS
L2	LANDSCAPE DETAILS	A6.2	DETAILS
		A6.3	DETAILS
		A7.0	INTERIOR ELEVATIONS
		A7.1	CONSTRUCTION ASSEMBLY AND ROOM FINISH
		A7.2	DOOR AND WINDOW SCHEDULES
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		S0.1	GENERAL NOTES
		S0.3	SCHEDULES
		S1.1	FOUNDATION PLAN
		S1.2	ENTRANCE LEVEL FRAMING PLAN
		S1.3	FOUNDATION SECTIONS
		S1.4	FOUNDATION DETAILS
		S2.1	1ST FLOOR FRAMING PLAN
		S3.1	2ND FLOOR FRAMING PLAN
		S4.1	3RD FLOOR FRAMING PLAN
		S5.1	4TH FLOOR FRAMING PLAN
		S6.1	ROOF FRAMING PLAN
		S7.1	BUILDING SECTIONS
		S8.1	SECTIONS
		S8.2	SECTIONS
		S9.1	FRAMING DETAILS
		MECHANICAL	
		M100	SANITARY & STORM PLAN - BASEMENT
		M101	SANITARY & STORM PLAN - GROUND FLOOR
		M102	SANITARY & STORM PLAN - 2ND TO 4TH FLOOR
		M200	DOMESTIC WATER PLAN - BASEMENT
		M201	DOMESTIC WATER PLAN - GROUND FLOOR
		M202	DOMESTIC WATER PLAN - 2ND TO 4TH FLOOR
		M300	HYDRONIC PLAN - BASEMENT
		M301	HYDRONIC PLAN - GROUND FLOOR
		M302	HYDRONIC PLAN - 2ND TO 4TH FLOOR
		M303	HYDRONIC PLAN - ATTIC
		M400	HVAC PLAN - BASEMENT
		M401	HVAC PLAN - GROUND FLOOR
		M402	HVAC PLAN - 2ND TO 4TH FLOOR
		M403	HVAC PLAN - ATTIC
		M500	SPRINKLER PLAN - BASEMENT
		M501	SPRINKLER PLAN - GROUND FLOOR
		M503	SPRINKLER PLAN - 2ND TO 4TH FLOOR
		M600	MECHANICAL SCHEDULES
		M601	GENERAL NOTES
		ELECTRICAL	
		E001	ELECTRICAL NOTES & DETAILS
		E100	BASEMENT POWER & SYSTEMS PLAN
		E101	GROUND FLOOR POWER & SYSTEMS PLAN
		E102	2ND - 3RD FLOOR POWER AND SYSTEMS PLAN
		E103	4TH FLOOR POWER & SYSTEMS PLAN
		E104	ATTIC POWER & SYSTEMS PLAN
		E200	BASEMENT LIGHTING PLAN
		E201	GROUND FLOOR LIGHTING PLAN
		E202	2ND - 3RD FLOOR LIGHTING PLAN
		E203	4TH FLOOR LIGHTING PLAN
		E300	BASEMENT CONDUIT PLAN
		E301	GROUND FLOOR CONDUIT PLAN
		E401	SUITE PLANS
		E402	SUITE PLANS
		E403	SUITE PLANS
		E501	ELECTRICAL SINGLE LINE DIAGRAM
		E502	ELECTRICAL RISERS
		E503	FIRE ALARM RISERS
		E504	ELECTRICAL SCHEDULES
		E505	ELECTRICAL DETAILS
		CIVIL	
		C1.1	REMOVALS PLAN
		C2.1	SITE GRADING PLAN
		C2.2	SITE SERVING PLAN
		C2.3	DETAILS AND NOTES PLAN 1
		C2.4	DETAILS AND NOTES PLAN 2
		ES1.1	EROSION AND SEDIMENT CONTROL PLAN
		LANDSCAPE	
		L1	LANDSCAPE PLAN
		L2	LANDSCAPE DETAILS

IDENTIFICATION DATA				
PARCEL CODE: CON 2 PT LOT 102 RP 51R-1395 PT PART 2				
LOT AREA: 2.74 ACRES				
PROPOSED LAND USE: RESIDENTIAL				
REGULATIONS GOVERNING RA-12 D73.BH18, RESIDENTIAL APARTMENT ZONE				
ROW	REGULATION	REQUIRED	PROPOSED	COMPLIES
3	MIN. LOT AREA	100 SQ.M./DWELLING UNIT	TOTAL LOT = 11105.18 m ² (127.6 m ² PER UNIT)	YES
4	MIN. LOT FRONTAGE	40 m	135.5 m	YES
5	MAX. DENSITY UNITS/HA	113 UNITS	87 UNITS	YES
6	MIN. FRONT YARD	6.0 m	6.0 m	YES
7	MIN. INTERIOR SIDE YARD	4.9 m	4.9 m	YES
8	MIN. EXTERIOR SIDE YARD	6.0 m	6.0 m	YES
9	MIN. REAR YARD	1/2 THE BUILDING HEIGHT OR 7.5m WHICHEVER IS GREATER	9.0 m	YES
10	MAX. BLDG HEIGHT	18 m	15.8 m	YES
12	MIN. COMMON AMENITY AREA	10 SQ.M. PER UNIT + 870 m ²	INTERIOR PHASE 1 = 145m ² INTERIOR PHASE 2 = 67m ² EXTERIOR = 1005m ² TOTAL = 1217m ²	YES
13	MIN. LANDSCAPED OPEN SPACE	30% LOT COVERAGE	LANDSCAPED AREA = 3946.15 m ² (35.5%)	YES
18	FLOOR SPACE INDEX (F.S.I.)	43 DWELLING UNITS IN PHASE 1 + 44 DWELLING UNITS IN PHASE 2 SHALL BE FOR DESIGNATED VISITOR PARKING	5 B.F. PARKING 34 VISITOR PARKING 86 RESIDENTIAL PARKING (INCLUDING 6 E.V. SPACES) 131 TOTAL PARKING	N/A

Phase 1 Unit Schedule - Totals				
Name	Count	Unit	Comments	
Unit A	14	Unit	2 Bed	
Unit B	15	Unit	2 Bed	
Unit C	6	Unit	2 Bed	
Unit D	3	Unit	1 Bed	
Unit E	3	Unit	2 Bed	
Unit F	2	Unit	2 Bed	
Grand total	43			

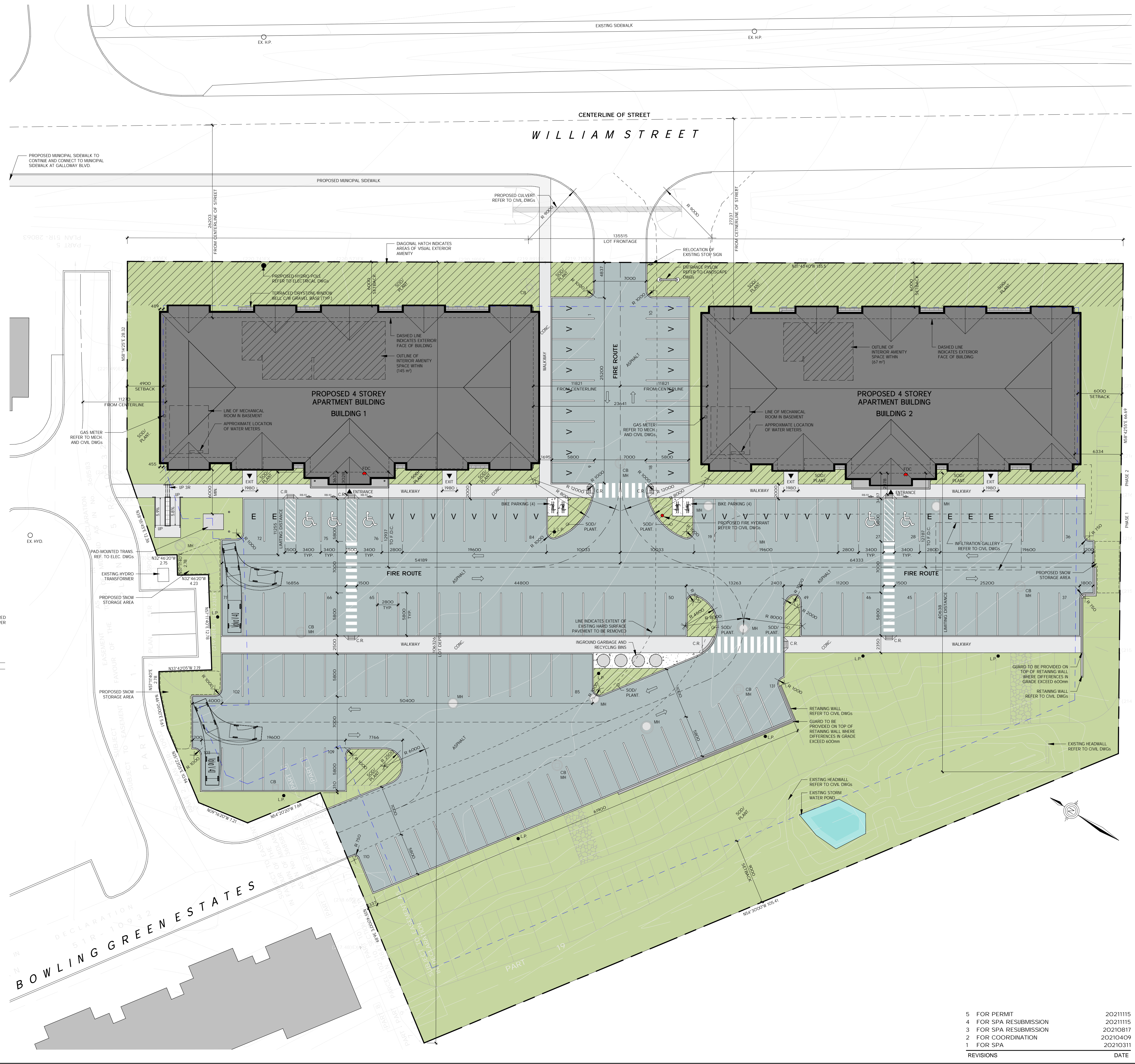
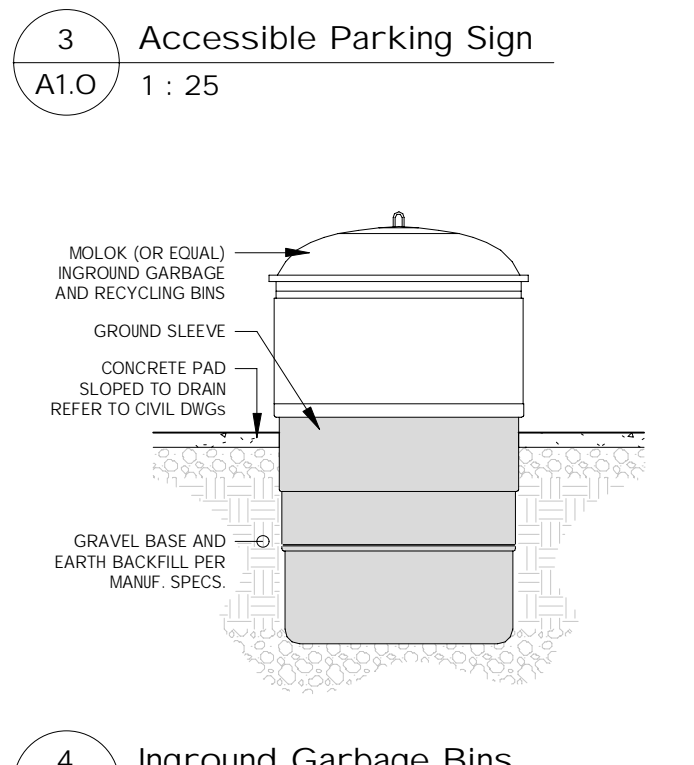
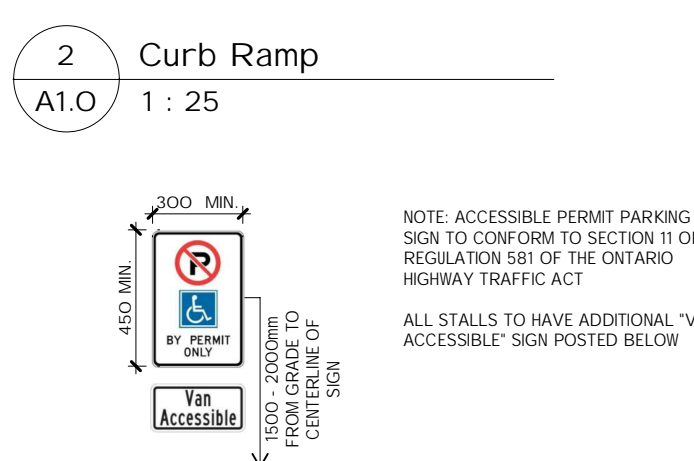
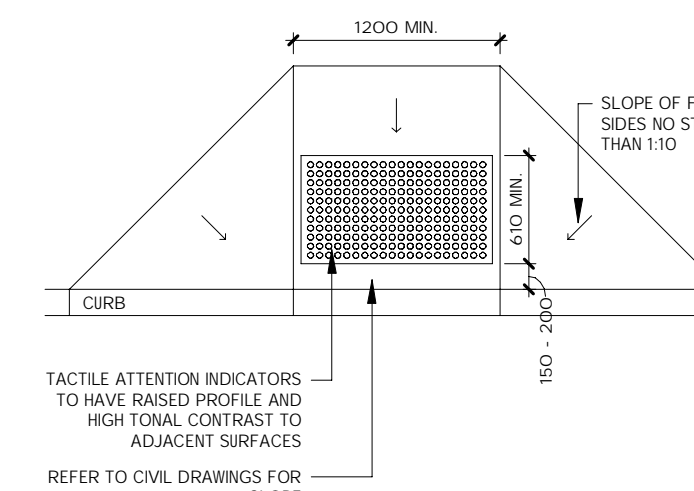
NOTE: SITE COUNT FOR PHASE 2 INCLUDES ONE ADDITIONAL UNIT B. TOTAL UNIT COUNT OF SITE (PHASE 1 AND PHASE 2 COMBINED) IS 87 UNITS



Key Plan
N.T.S.

- SITE PLAN LEGEND**
- SOD OR LANDSCAPED AREA
 - EXISTING POND
 - PROPOSED ASPHALT PARKING AREA
 - PROPOSED WALKWAYS
 - PROPOSED SITE FEATURES
 - EXISTING BUILDING STRUCTURES
 - PROPOSED BUILDINGS
 - PROPOSED EXTERIOR AMENITY (VISUAL LANDSCAPING)
 - SETBACK BOUNDARY
 - FIRE ROUTE
 - EDGE OF EXISTING HARD SURFACE ROADWAY - TO BE REMOVED
 - SNOW STORAGE AREA
 - RB-93 ACCESSIBLE PARKING SIGN REFER TO TYPICAL DETAIL
 - CONCRETE CURB ALL CURBS TO BE SINGLE STAGE PER OPSD 600 04 UNLESS NOTED OTHERWISE. REFER TO CIVIL DRAWINGS FOR DETAILS
 - LIGHT POST (L.P.)
 - FIRE DEPARTMENT CONNECTION (F.D.C.)
 - CURB RAMP (C.R.) COMPLETE WITH TACTILE ATTENTION INDICATOR REFER TO TYPICAL CURB RAMP DETAIL

- SITE PLAN NOTES**
1. PROJECT TO BE COMPLETED IN TWO PHASES. ALL SITE WORK SHOWN TO BE COMPLETED IN PHASE 1 UNLESS NOTED OTHERWISE.
 2. ALL SITE LIGHTING TO BE DIRECTED AWAY FROM ADJACENT RESIDENTIAL LAND. PROPOSED DRIVEWAY AND PARKING TO BE ASPHALT.
 3. ALL PARKING LINES TO BE PAINTED WITH HIGH TONAL CONTRAST AGAINST ASPHALT SURFACE. ALL BARRIER FREE PARKING STALLS TO INCLUDE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED WITH HIGH TONAL CONTRAST AGAINST ASPHALT SURFACE.
 4. FOR PERMIT
 5. FOR SPA RESUBMISSION
 6. FOR SPA RESUBMISSION
 7. FOR COORDINATION
 8. FOR SPA



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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION. THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.
ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE RETURNED TO HIS SERVICE AND ARE TO BE RETURNED AT HIS REQUEST.
DO NOT SCALE DRAWINGS.

SEAL

PROJECT NORTH

LANDINGS AT ABERDARE BUILD 1
786 WILLIAM ST. - MIDLAND, ON
Site Plan

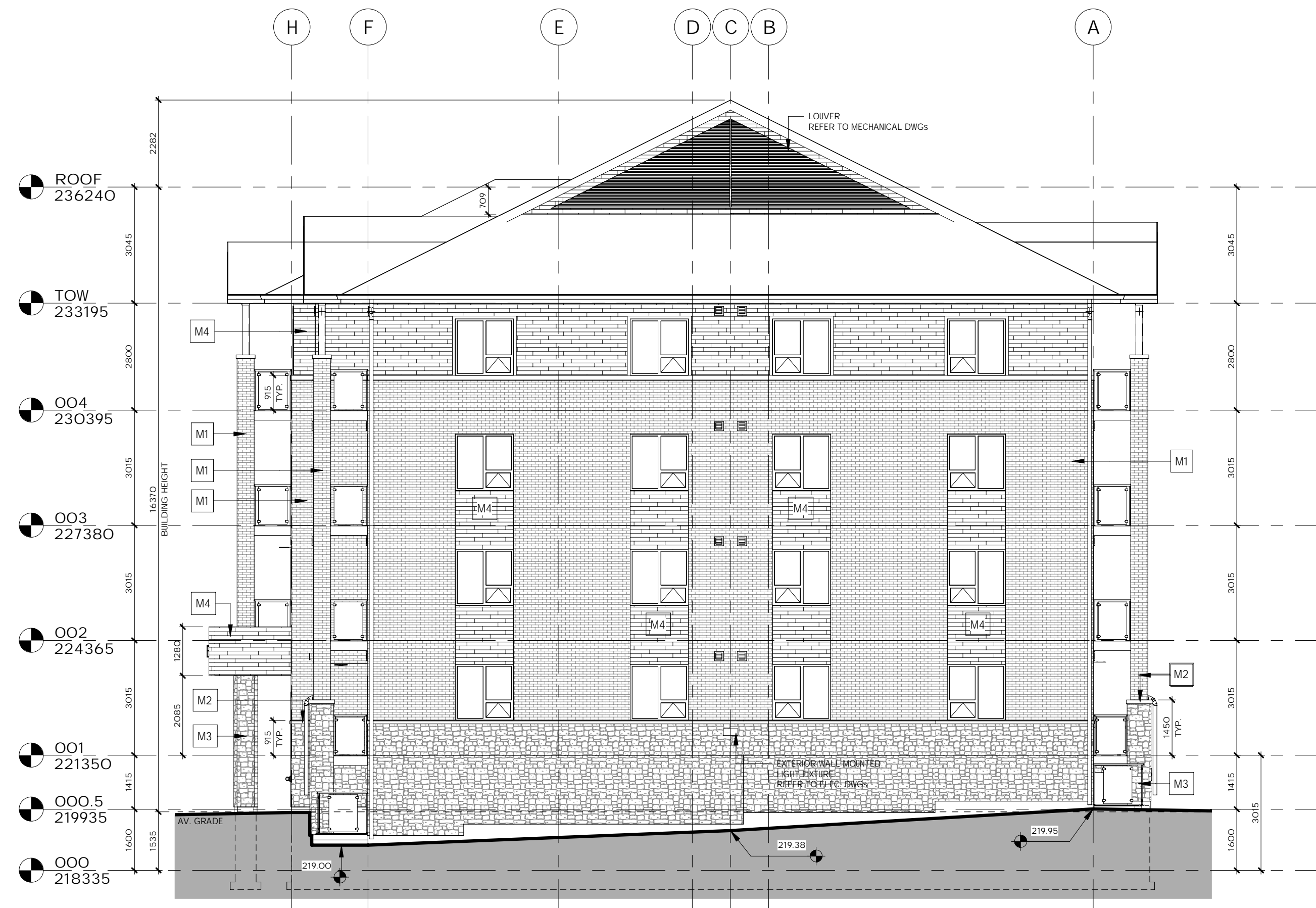
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PROJECT #	20024	20211115
CHKD	RT	
DRAWN	MA	
SCALE	As indicated	
DATE DWN	08/12/20	
ISSUED	20211115	

REVISIONS DATE

1 FOR PERMIT 20211115
2 FOR SPA RESUBMISSION 20211115
3 FOR SPA RESUBMISSION 20210817
4 FOR COORDINATION 20210409
5 FOR SPA 20210311

A1.0

2021-11-12 5:07:04 PM



2 Building Elevation East
A4.0 1 : 100



1 Building Elevation South
A4.0 1 : 100

MATERIAL LEGEND	
	M1 BRICK - BRAMPTON BRICK STYLE: JP SERIES COLOUR: OLD CHICAGO
	M2 PRECAST SILL - SHOULDRICE COLOUR: ANTIQUE BRONZE 424 SUPER SILL FULL RADIUS TAPESTRY SIZE: 5-5/8" D x 3-5/8" H x 23-5/8" L
	M3 STONE - BRAMPTON BRICK STYLE: VIVACE COLOUR: VERONA
	M4 PREFINISHED VINYL SIDING MANUFACTURER: GENTEK STYLE: DRIFTWOOD II COLOUR: REF. 84
OTHER ELEMENTS	
WINDOWS & PATIO DOORS:	BLACK ALUMINUM
DOOR FRAMES:	BLACK METAL
ALUMINUM SOFFITS:	BLACK
FLASHINGS:	TO MATCH ADJACENT MATERIAL
CAP FLASHINGS:	BLACK
BALCONY GIARDS:	GLASS, BLACK PPC ALUMINUM
ASPHALT SHINGLES:	BLACK
PREFINISHED METAL:	BLACK
ALUMINUM STOREFRONT:	ANODIZED
MECH. VENTS:	BLACK
PAINTED DOORS/METAL:	B.M. 2132-40 ECLIPSE
EXPOSED WOOD TRUSS AND COLUMNS:	FIR WITH CLEAR STAIN

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SEAL

PROJECT NORTH

LANDINGS AT ABERDARE BUILD 1
786 WILLIAM ST. - MIDLAND, ON
Building Elevations

STATUS	SPA	20211115
PROJECT #	20024	20211115
CHKD	RT	20210817
DRAWN	MA	20210409
SCALE	As indicated	20210311
DATE DWN	20200615	
ISSUED	20211115	

REVISIONS	DATE
5 FOR PERMIT	20211115
4 FOR SPA RESUBMISSION	20211115
3 FOR SPA RESUBMISSION	20210817
2 FOR COORDINATION	20210409
1 FOR SPA	20210311



2 Building Elevation West
A4.1 1:100



1 Building Elevation North
A4.1 1:100

MATERIAL LEGEND	
	M1 BRICK - BRAMPTON BRICK STYLE: JP SERIES COLOUR: OLD CHICAGO
	M2 PRECAST SILL - SHOULDICE COLOUR: ANTIQUE BRONZE 424 SUPER SILL FILL RADIUS TAPESTRY SIZE: 5-5/8" D x 3-5/8" H x 23-5/8" L
	M3 STONE - BRAMPTON BRICK STYLE: VIVACE COLOUR: VERONA
	M4 PREFINISHED VINYL SIDING MANUFACTURER: GENTEK STYLE: DRIFTWOOD II COLOUR: REF. 84
OTHER ELEMENTS	
WINDOWS & PATIO DOORS:	BLACK ALUMINUM
DOOR FRAMES:	BLACK METAL
ALUMINUM SOFFITS:	BLACK
FLASHINGS:	TO MATCH ADJACENT MATERIAL
CAP FLASHINGS:	BLACK
BALCONY GUARDS:	GLASS, BLACK PPC ALUMINUM
ASPHALT SHINGLES:	BLACK
PREFINISHED METAL:	BLACK
ALUMINUM STOREFRONT:	ANODIZED
MECH. VENTS:	BLACK
PAINTED DOORS/ METAL:	B.M. 2132-40 ECLIPSE
EXPOSED WOOD TRUSS AND COLUMNS:	FIR WITH CLEAR STAIN

LANDINGS AT ABERDARE BUILD 1
786 WILLIAM ST. - MIDLAND, ON
Building Elevations

STATUS	SPA	20211115
PROJECT #	20024	20211115
CHKD	RT	20210817
DRAWN	MA	20210409
SCALE	As indicated	20200615
DATE DWN	20200615	20211115
ISSUED	20211115	

REVISIONS	DATE
5 FOR PERMIT	20211115
4 FOR SPA RESUBMISSION	20211115
3 FOR SPA RESUBMISSION	20210817
2 FOR COORDINATION	20210409
1 FOR SPA	20210311

A4.1

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