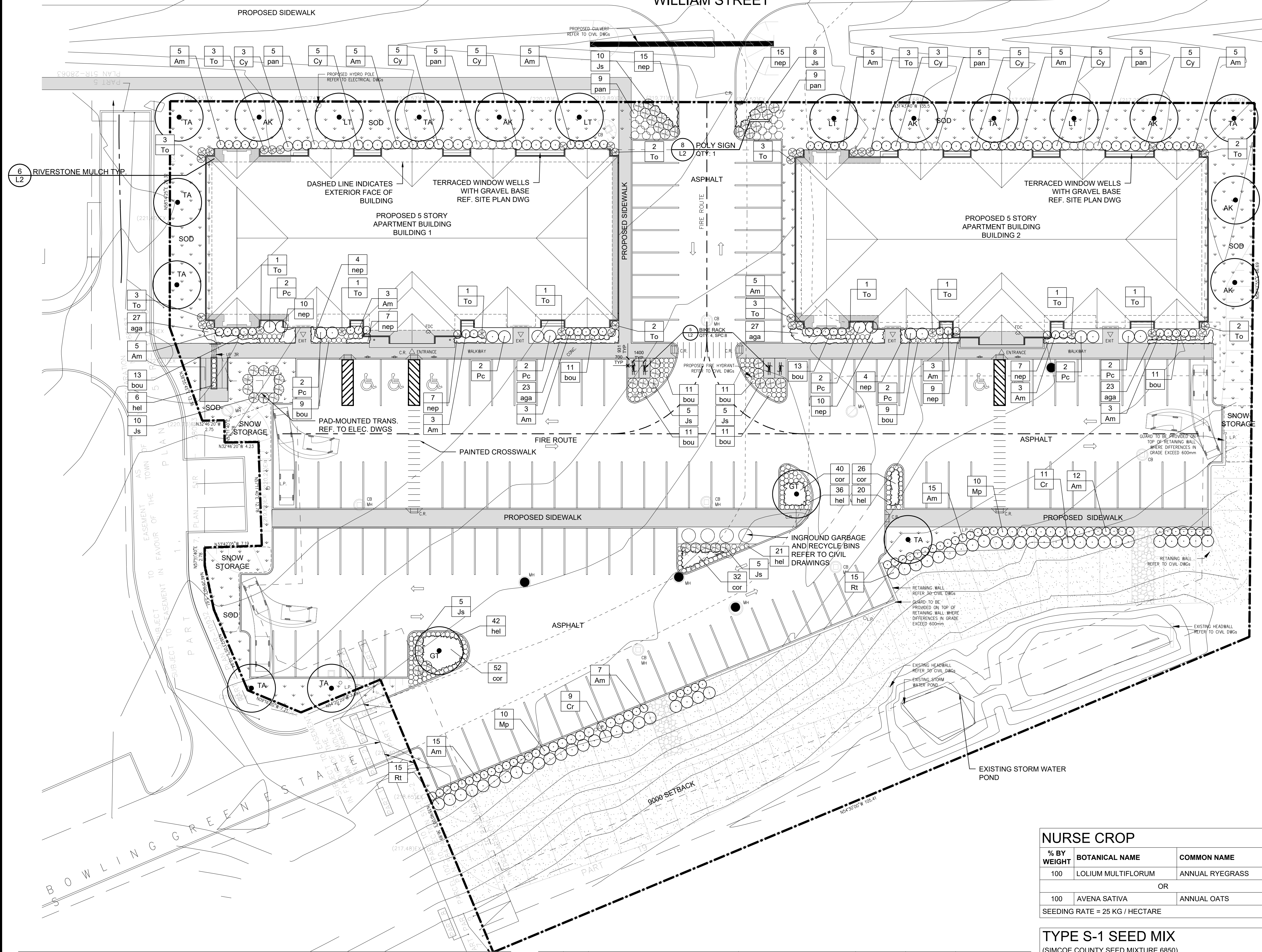
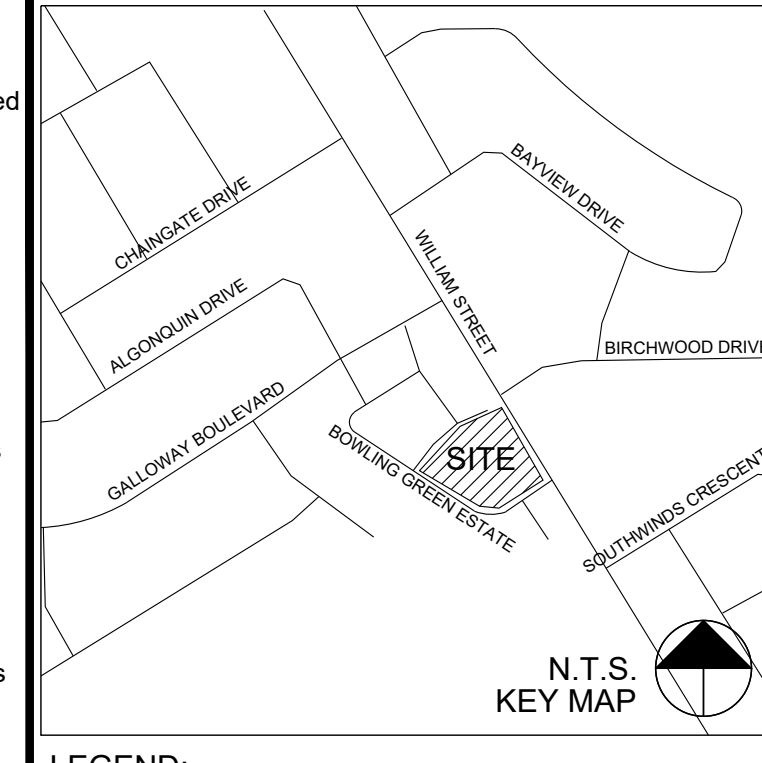


WILLIAM STREET



GENERAL NOTES

- Base information sources: Site Plan dated January 13, 2022 prepared by Fryett Turner Architects Inc.
- All dimensions are in metric unless otherwise noted.
- Do not scale drawings. Dimensions are to be verified on site by Contractor prior to commencement of the work.
- These plans shall be read in conjunction with all details, notes, reports, written specifications, general conditions, any supplemental conditions and agreement which form the contract documents.
- These drawings shall not be used for construction purposes unless noted as "Issued for Construction" and signed by the Landscape Architect or Professional Engineer.
- Contractor shall review all drawings and verify actual field conditions to determine the total scope of work and all required coordination prior to submission of bids and commencement of the work. Report any discrepancies to the Landscape Architect, for action to the satisfaction of the Owner.
- Contractor shall locate all underground, at grade and overhead utilities prior to commencement of the work. All utilities not necessarily shown on these drawings. About & Associates assumes no responsibility for the accuracy of any utilities shown in these drawings.
- Contractor shall perform all work in accordance with to the most current Ontario Building Code, CAN/CSA-Z614, Occupational Health and Safety Act and it's regulations, as well as local municipal codes, regulations and by-laws.
- Contractor shall identify the location of all internal/external construction access routes, parking and storage of materials in conformance with project erosion and sediment control plans for acceptance by the Owner. Construction, maintenance and removal/restoration of access, parking and storage facilities shall be included in the Contractor's bid price.
- Contractor shall submit shop drawings where indicated in these drawings. Shop drawings shall be certified by a Professional Engineer licensed to practice in Ontario and reviewed by the contractor for dimensional correlation with the drawings and field conditions. Fabrication of elements on shop drawings shall not proceed until drawings have been reviewed and approved by a Professional Engineer and have been accepted for general design conformance by the Landscape Architect in writing. The cost of preparing shop drawings, as well as the services of a Professional Engineer, shall be included in the Contractor's bid price.
- Contractor proposed substitution of materials and products shall be submitted in writing for review by Landscape Architect and acceptance by Owner and Municipality.
- Material quantities on drawings shall take precedence over those in lists and schedules.
- Where traffic control is necessary, Contractor shall use the guideline of the Construction Safety Association of Ontario, municipal by-laws, the Highway Traffic Act and the Ontario Traffic Manual (Book 7). The cost of preparing, obtaining approvals and implementing traffic control plans shall be included in the Contractor's bid price, unless otherwise noted.
- Contractor shall erect temporary barriers, as required, to secure the work area. Contractor shall maintain temporary barriers in good repair and remove at the end of the work.
- Contractor shall provide layout and grade staking, for general review for design conformance by Landscape Architect and acceptance by Owner. Where the work occurs within 3 metres of a property boundary, layout and staking shall be completed by an Ontario Land Surveyor. The cost of layout and grade staking, as well as the services of an Ontario Land Surveyor, shall be included in the Contractor's bid price, unless otherwise noted.
- Contractor is responsible for protecting and/or reinstating site elements indicated in these drawings.
- Contractor is responsible for restoration of adjacent surfaces and existing site elements damaged by the Contractor in the performance of the work, including but not limited to roads, driveways, playground equipment, utilities, buildings, curbs, sidewalks, retaining walls, fencing, turf, flowers and woody vegetation. Restoration work shall be performed by the Contractor at no cost to the Owner and be completed in conformance with applicable Provincial, Municipal or Agency standards and requirements, to the satisfaction of the Owner/Agency of the damaged element.
- Where new paving or earthwork meets existing, smoothly blend line and grade of existing with new.
- Test existing topsoil to be reused as growing medium on site in accordance with:
 - Top Soil Basic Package (by SGS Laboratories or approved equal testing facility) Testing the following properties: Texture (%sand, %silt, %clay), total salts, pH, buffer pH, phosphorus, potassium, magnesium, calcium, cation exchange capacity, chloride, sodium, sodium absorption ratio, organic matter. Written recommendations for amendments.
 - The cost to amend existing topsoil to be reused shall be paid for by the Owner.
- Contractor shall provide imported topsoil test results (using analysis requirements for existing topsoil) prior to delivery to place of work, for each source.
- Plants specified on these plans are to be in accordance with the Canadian Nursery Landscape Association Canadian Standards for Nursery Stock from the Canadian Landscape Standard, current edition.
 - Only nursery grown plants will be accepted.
 - Landscape Architect reserves the right to reject any plant material not in conformance with the standard, displaying life-threatening, poor growth habits, injury, disease or not true to name. Contractor shall remove rejected plants from the site immediately and replace at no additional cost to the Owner.
- Proposed plants which come over or under any utility shall be relocated by the Contractor for review by the Landscape Architect, to the satisfaction of the utility provider.
- All work and materials are to be warranted by the Contractor for twenty-four (24) months from date of initial acceptance of all items by Municipal Staff and Project Landscape Architect.
- The Contractor shall perform maintenance, as described in these drawings for all the installed trees, shrubs, grasses and seeding during the warranty period.
 - or
 - The Owner shall provide maintenance as described in these drawings for all installed trees, shrubs, grasses and seeding during the warranty period.



- LEGEND:
- PROPOSED DECIDUOUS TREES
 - PROPOSED DECIDUOUS SHRUBS
 - PROPOSED CONIFEROUS SHRUBS
 - PROPOSED ORNAMENTAL GRASSES
 - PROPOSED PERENNIALS, GROUNDCOVERS, AND ANNUALS
- QTY SPE PLANT KEY
- PROPOSED SEEDED AREA - S-1 MIX HYDRAULICALLY SEED AND USE BONDED FIBRE MATRIX AS THE COVER PER OPSS 804
 - PROPOSED SOD
 - RIVERSTONE MULCH
 - PROPERTY LINE
- ALL SOD PLANTED ON 3:1 SLOPE TO BE STAKED

8	RE-SUBMITTED FOR SPA	MGN	09 Nov-21
7	SUBMITTED FOR SITE PLAN APPROVAL	MGN	10 Aug-21
6	SUBMITTED FOR CORRODINATION	SK	06 Aug-21
5	SUBMITTED FOR CORRODINATION	SK	06 Apr-21
4	SUBMITTED FOR SITE PLAN APPROVAL	MGN	24 Mar-21
No.	Description	By	Date

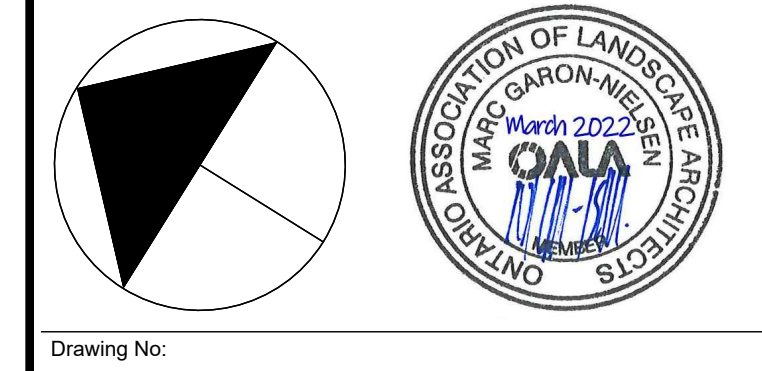
REVISIONS: All previous issues of this drawing are superceded

ABOUT & ASSOCIATES INC.
 Consulting Arborists • Ecologists • Landscape Architects
 190 Nicliss Road, Guelph, Ontario, N1H 7J5, 519.822.6839 www.abouting.com

LANDSCAPE PLAN

Project: **786 WILLIAM ST**
 MIDLAND ONTARIO
 JENMARK HOMES

Date: NOVEMBER 2020 Designer: SK
 Project: AA20-147A Drawn: SK
 Scale: 1:250 Checked: X



Drawing No: **L1**

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	REMARKS
TREES						
AK	6	ACER RUBRUM 'KARPICK'	KARPICK MAPLE	50 MM CAL	WB	10M O.C. SPACING
GT	2	LLEDITSIA TRIACANTHOS VAR. INERMIS	THORNLESS HONEYLOCUST	50 MM CAL	WB	10M O.C. SPACING
LT	4	LIRIODENDRON TULIPIFERA 'FASTIGIATA'	COLUMNAR TULIP TREE	50 MM CAL	WB	10M O.C. SPACING
TA	9	TILIA AMERICANA 'REDMOND'	REDMOND BASSWOOD	50 MM CAL	WB	10M O.C. SPACING
21 TOTAL TREES						
SHRUBS						
Am	107	ARONIA MELENOCARPA	BLACK CHOKE CHERRY	50 CM HT	POTTED	1 M O.C.
Cr	20	CORNUS RACEMOSA	GREY DOGWOOD	50 CM HT	3 GALLON	1.5 M O.C. SPACING
Cy	36	CORNUS SERICEA 'FLAVIRAMEA'	YELLOWTWIG DOGWOOD	50 CM HT	POTTED	1.2M O.C. SPACING
Js	48	JUNIPERUS SABINA 'TAMARISCIFOLIA'	TAMARIX JUNIPER	50 CM WD	POTTED	1.2M O.C. SPACING

Mp	20	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	50 CM HT	POTTED	1.2M O.C. SPACING
Pc	16	PHYSOCARPUS OPULIFOLIUS 'MINDIA'	COPPERTINA NINEBARK	50 CM HT	POTTED	2M O.C. SPACING
Rt	30	RHUS TYPHINA	STAGHORN SUMAC	50 CM HT	POTTED	1.5M O.C. SPACING
To	34	THUJA OCCIDENTALIS 'SMARAGD'	AMERICAN ARBORVITAE	80 CM HT	POTTED	75CM O.C. SPACING
311 TOTAL SHRUBS						
ORNAMENTAL GRASSES AND PERENNIALS						
aga	100	AGASTACHE FOENICULUM 'VIOLET VISION'	VIOLET VISION GIANT HYSSOP	-	1 GAL	45CM O.C. SPACING
bou	110	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	-	1 GAL	30CM O.C. SPACING
nep	88	NEPTA X FAASENI 'WALKERS LOW'	WALKERS LOW CATMINT	-	1 GAL	60CM O.C. SPACING
hel	125	HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS	-	1 GAL	60CM O.C. SPACING
cor	150	COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	-	1 GAL	45CM O.C. SPACING
pan	38	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCHGRASS	-	1 GAL	1 M O.C. SPACING
511 TOTAL ORNAMENTAL GRASSES AND PERENNIALS						

NURSE CROP

% BY WEIGHT	BOTANICAL NAME	COMMON NAME
100	LOLIUM MULTIFLORUM	ANNUAL RYEGRASS
OR		
100	AVENA SATIVA	ANNUAL OATS

SEEDING RATE = 25 KG / HECTARE

TYPE S-1 SEED MIX
 (SIMCOE COUNTY SEED MIXTURE 6850)

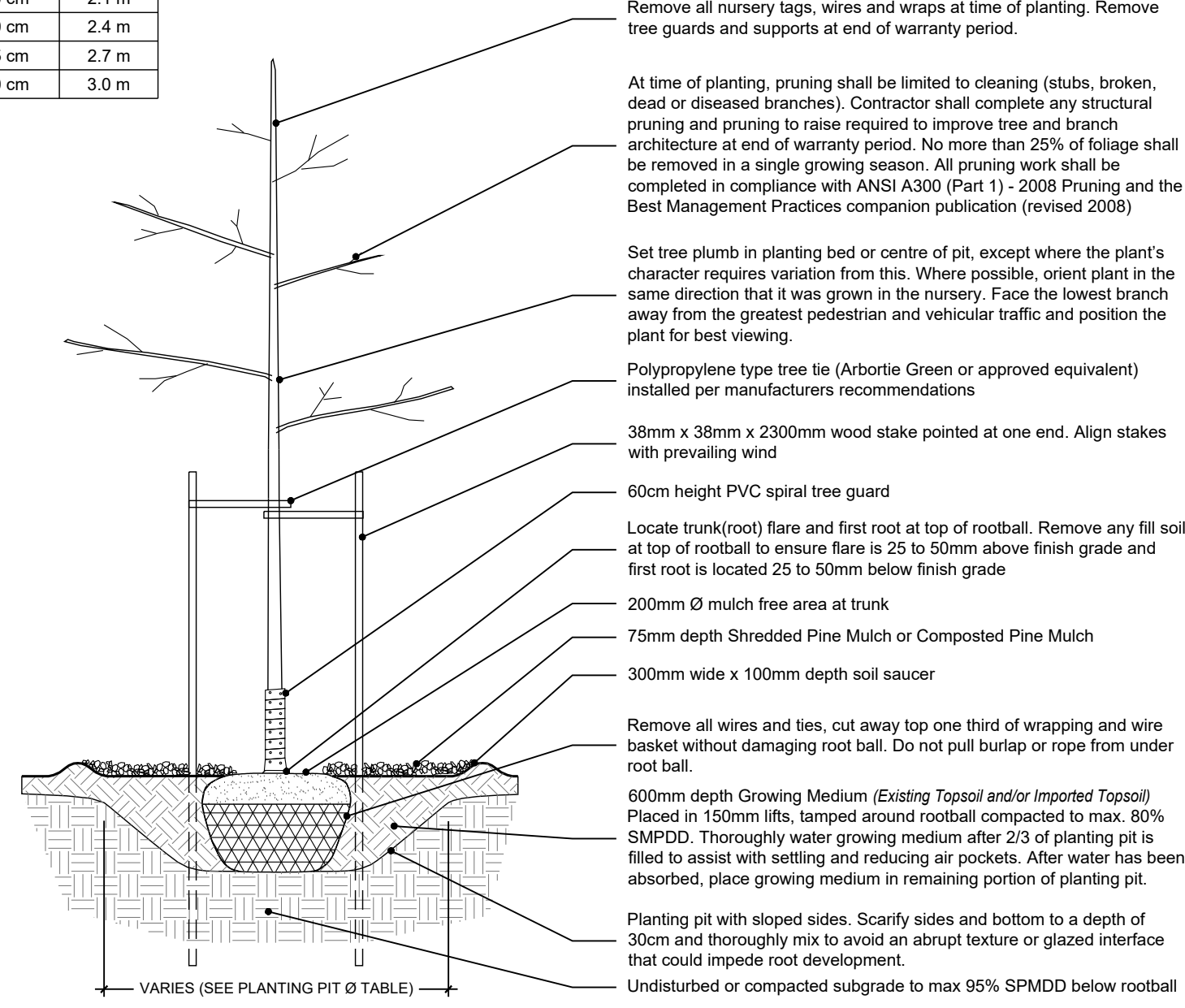
% BY WEIGHT	BOTANICAL NAME	COMMON NAME
5	ASCLEPIAS SYRIACA	COMMON MILKWEED
2	ASTER NOVVAE-ANGLIAE	NEW ENGLANDASTER
20	SORGASTRUM NUTANS	INDIAN GRASS
20	ELYMUS CANADENSIS	CANADA WILD RYE
4	SOLIDAGO CANADENSIS	CANADA GOLDEN ROD
1	MONARDA FISTULOSA	WILD BERGAMOT
20	SPOROBOLUS CRYTANDRUS	SAND DROPSEED
1	ASTER LAEVIS	SMOOTH BLUE ASTER
12	RUBRICKIA HIRTA	BLACK-EYED SUSAN
15	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM

SEEDING RATE = 25 KG / HECTARE

DATE: 11/11/2020 10:45 AM PROJECT: 786 WILLIAM STREET MIDLAND ONTARIO LANDSCAPE ARCHITECTS 20201015.DWG CTR: MARCH 2022 L1

Caliper	Rootball Ø	Min. Pit Ø
40 mm	50 cm	1.8 m
50 mm	60 cm	2.1 m
60 mm	70 cm	2.4 m
70 mm	75 cm	2.7 m
80 mm	80 cm	3.0 m

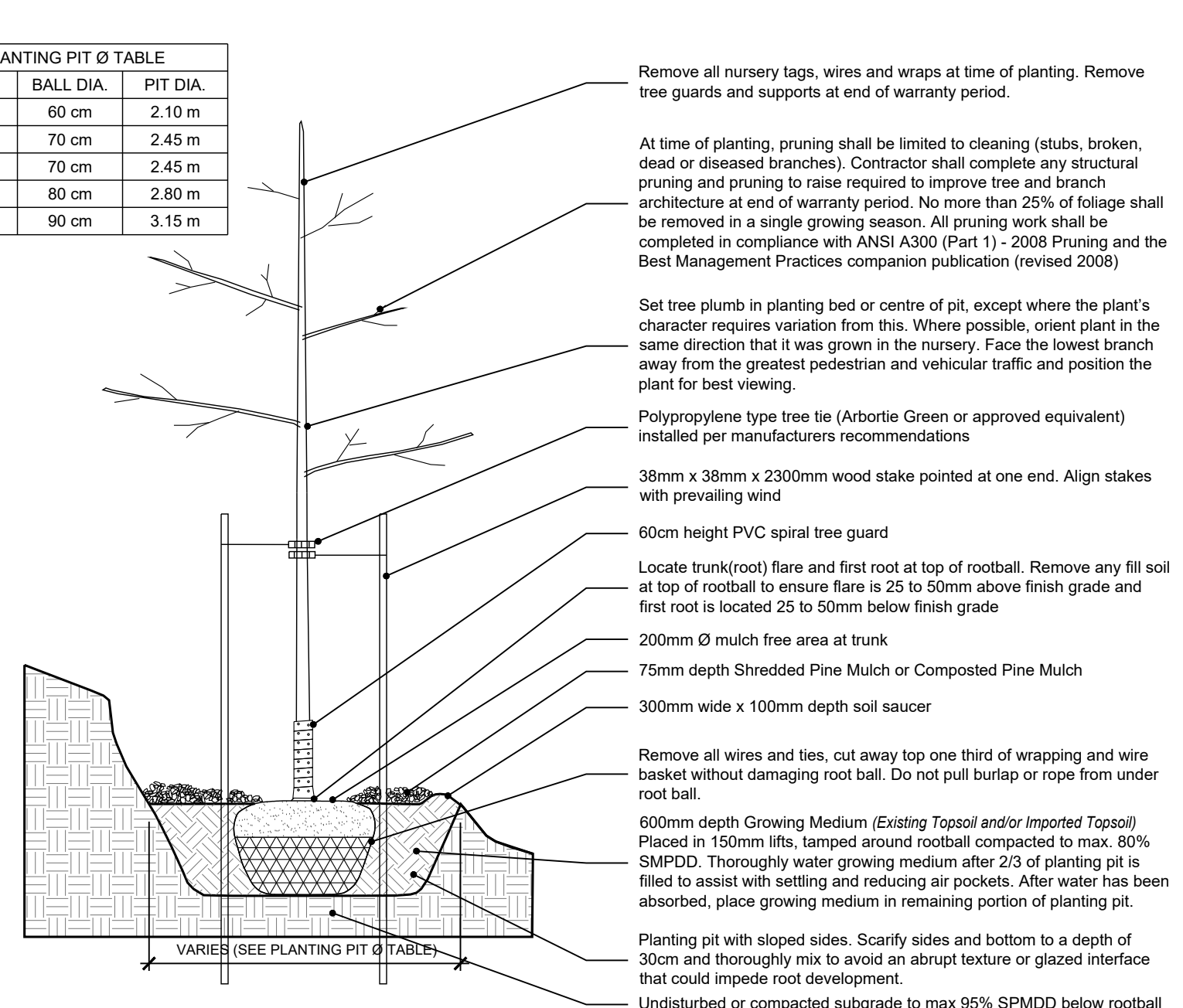
Plant Characteristics, Rootballs, Rootball Standards including minimum rootball diameters, Harvesting Practices, Transporting, Unloading, Handling/Protection, Scheduling, Water/Irrigation, Digging of Plants and Preparing Roots prior to planting in accordance with the Section 9 of the Canadian Landscape Standard. Do not perform work under adverse field conditions such as frozen soil, excessively wet soil or soil covered with snow, ice, or standing water. Contractor to supply all required water during planting and maintenance work.



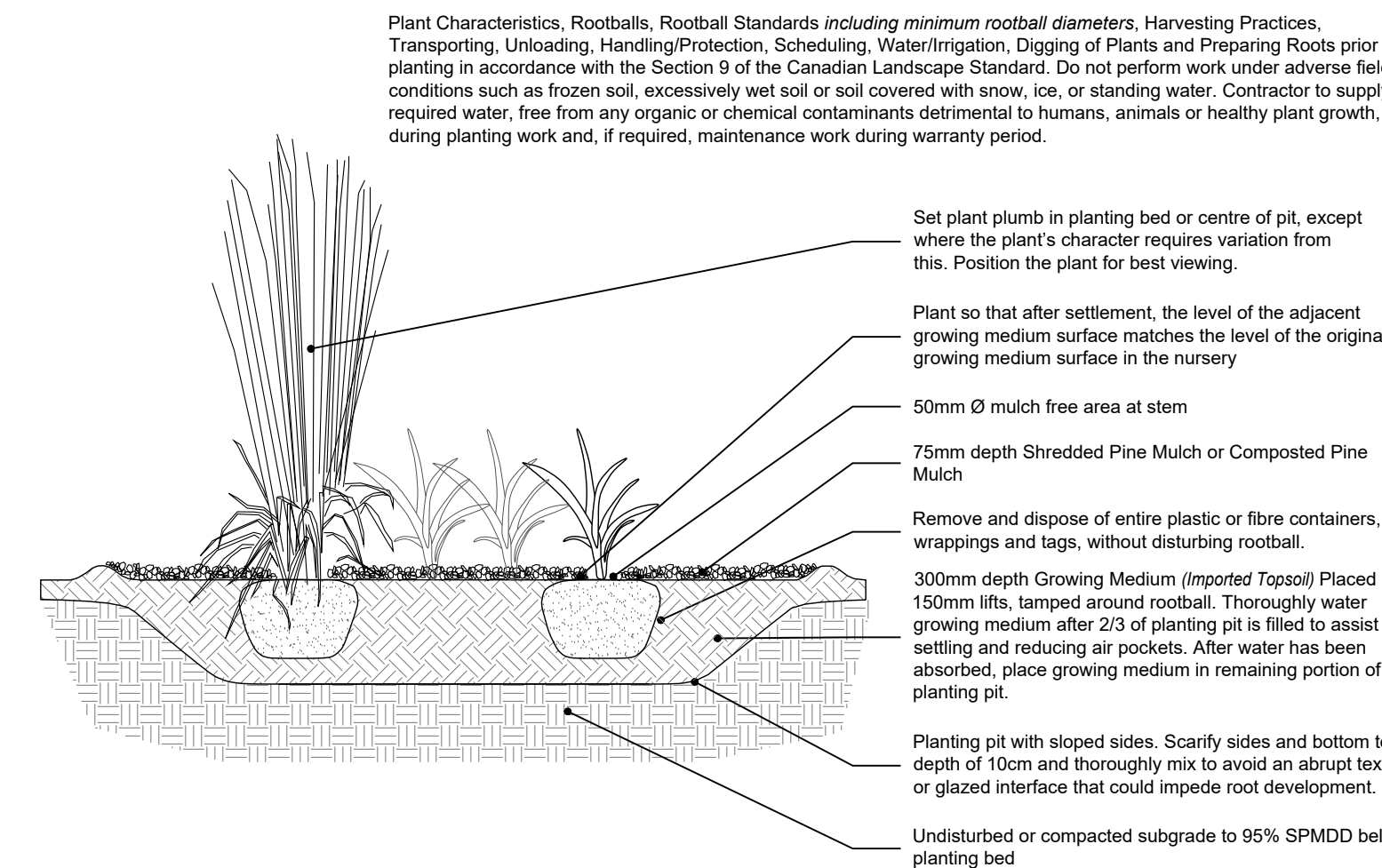
1 TYPICAL DECIDUOUS TREE PLANTING DETAIL
L2 N.T.S.

Caliper	Ball Dia.	Pit Dia.
40 mm	60 cm	2.10 m
50 mm	70 cm	2.45 m
60 mm	70 cm	2.45 m
70 mm	80 cm	2.80 m
80 mm	90 cm	3.15 m

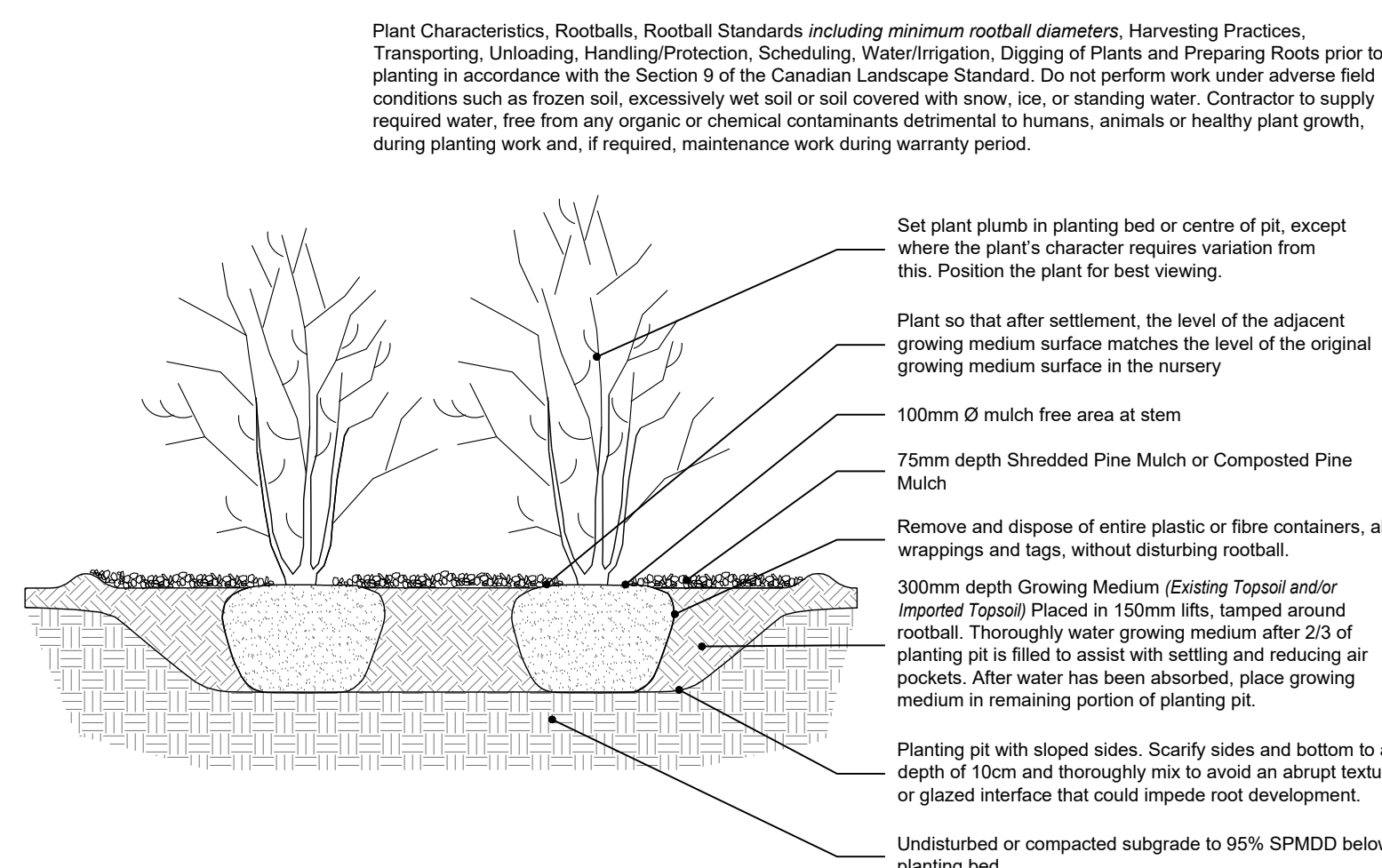
Plant Characteristics, Rootballs, Rootball Standards including minimum rootball diameters, Harvesting Practices, Transporting, Unloading, Handling/Protection, Scheduling, Water/Irrigation, Digging of Plants and Preparing Roots prior to planting in accordance with the Section 9 of the Canadian Landscape Standard. Do not perform work under adverse field conditions such as frozen soil, excessively wet soil or soil covered with snow, ice, or standing water. Contractor to supply all required water during planting and maintenance work.



5 TYPICAL DECIDUOUS TREE PLANTING DETAIL - STEEP SLOPES
L2 N.T.S.



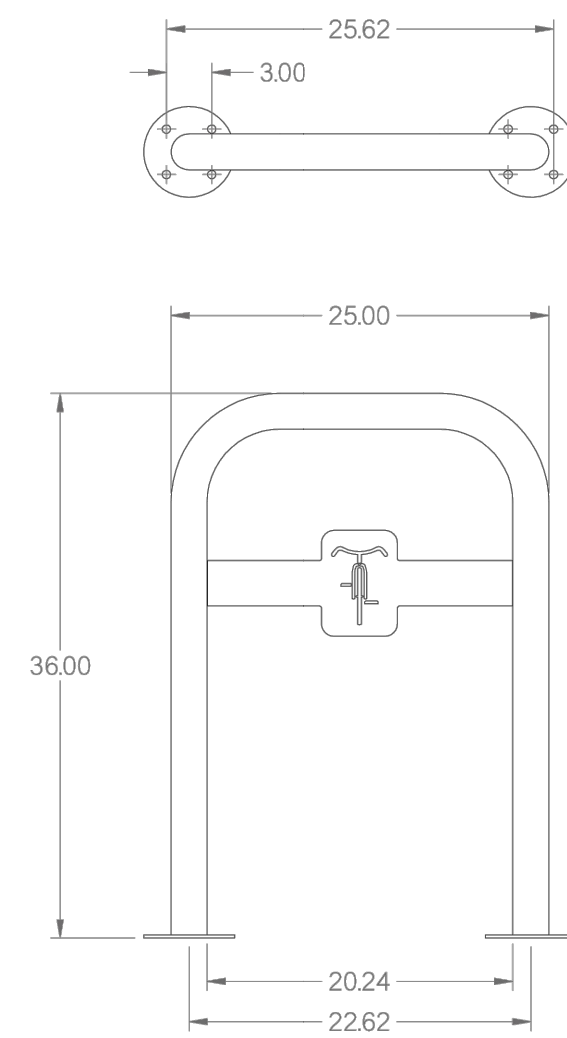
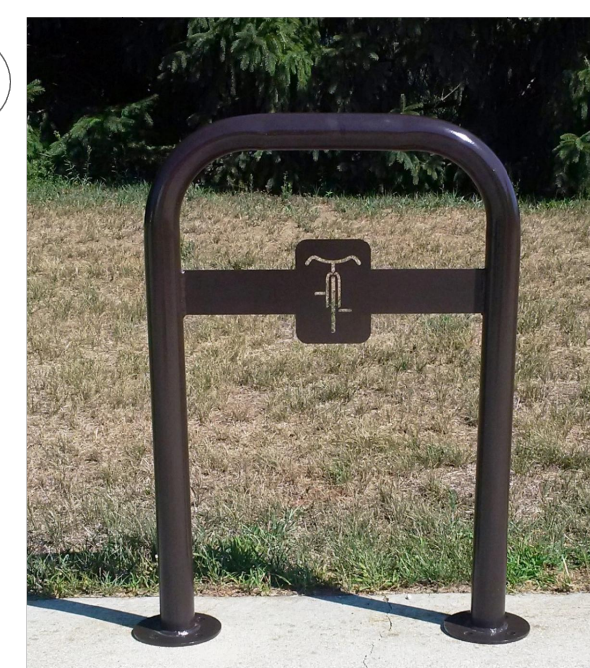
2 TYPICAL PERENNIAL PLANTING DETAIL - CONTINUOUS BED
L2 N.T.S.



3 TYPICAL SHRUB PLANTING DETAIL - CONTINUOUS BED
L2 N.T.S.

PRODUCT SPECIFICATIONS
DESCRIPTION: LUCID BIKE RACK
MODEL #: 462-712

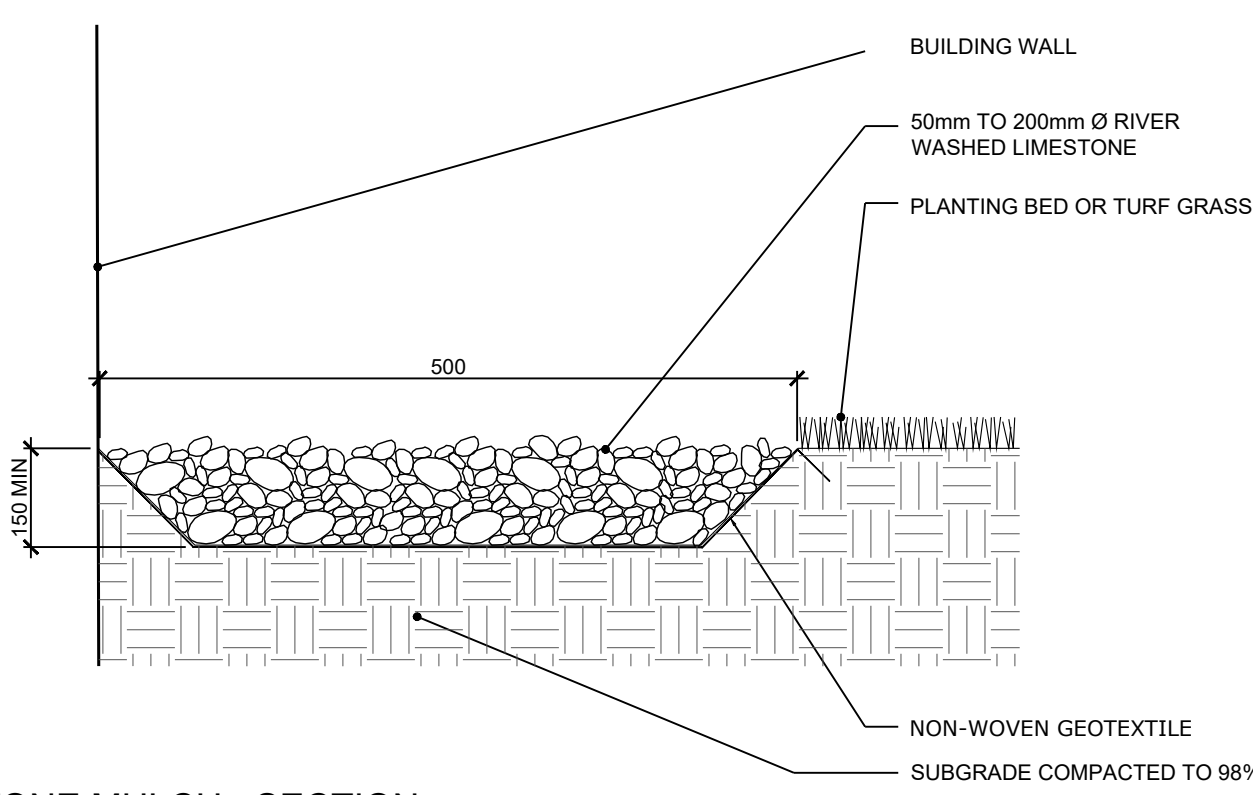
PARIS
Site Furnishings • Outdoor Fitness
259 Third Concession Rd, PO Box 490
Princeton, ON, N0J 1V0
Toll-Free: 1-800-387-6318
Phone: (519) 458-4882
Fax: (519) 458-8067
www.psmi.com



MATERIAL:
• Ø2.375" X 125 HSS TUBING
• 7 GA SHEET MILD STEEL
FINISH:
• EPOXY AND POLYESTER PAINT

6 BIKE RACK DETAIL
L2 N.T.S.

REVISION 0 DATE: 5/27/2016
Property of Paris Site Furnishings & Outdoor Fitness



7 RIVERSTONE MULCH - SECTION
L2 N.T.S.

Contact Info: **FastSigns - Midland Drawings** Pg 1/2

FASTSIGNS
More than fast. More than signs.
GUELPH

CLIENT: Williams and McDaniel Property Management
LOCATION:
PROJECT: Post & Panel Sign
DRAWN BY: FASTSIGNS
FILE NAME:
DATE OF DRAWING: March 2022
SCALE:
SALES PERSON: RALPH CLAUSSEN
REMARKS:

FASTSIGNS of Guelph
330 Laird Rd. Unit 7
Guelph, ON N1G 3X7
(519) 836-1112

Sales Person:
Ralph Clausen
ralph.clausen@fastsigns.com

Contact Info: **FastSigns - Midland Drawings** Pg 2/2

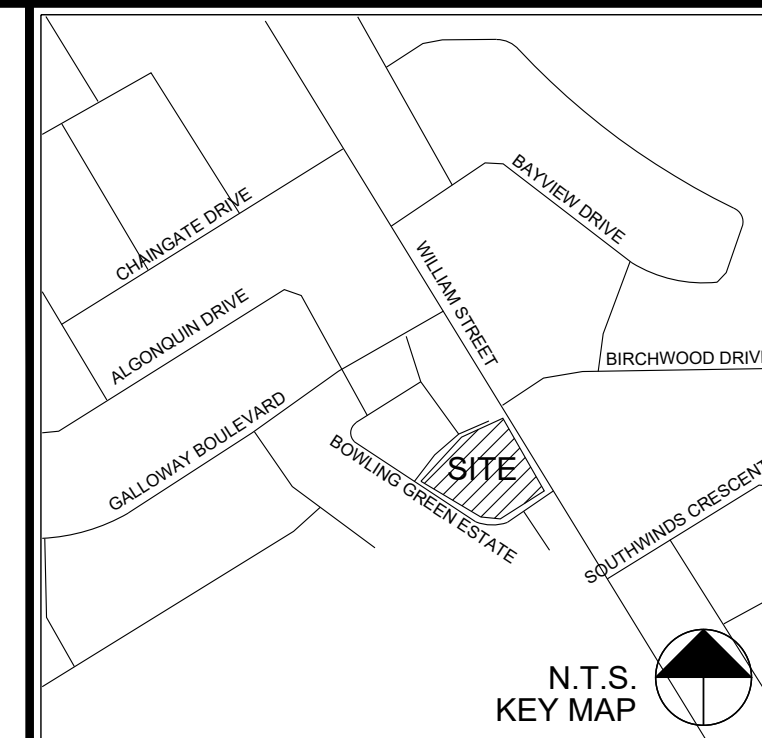
FASTSIGNS
More than fast. More than signs.
GUELPH

CLIENT: Williams and McDaniel Property Management
LOCATION:
PROJECT: Post & Panel Sign
DRAWN BY: FASTSIGNS
FILE NAME:
DATE OF DRAWING: March 2022
SCALE:
SALES PERSON: RALPH CLAUSSEN
REMARKS:

FASTSIGNS of Guelph
330 Laird Rd. Unit 7
Guelph, ON N1G 3X7
(519) 836-1112

Sales Person:
Ralph Clausen
ralph.clausen@fastsigns.com

8 POLY SIGN
L2 N.T.S.



No.	Description	By	Date
8	RE-SUBMITTED FOR SPA	MGN	09 Nov-21
7	SUBMITTED FOR SITE PLAN APPROVAL	MGN	10 Aug-21
6	SUBMITTED FOR CORRINATION	SK	06 Aug-21
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Project:
786 WILLIAM ST
MIDLAND ONTARIO
JENNAK HOMES

Date: NOVEMBER 2020 Designer: SK
Project: AA20-147A Drawn: SK
Scale: AS SHOWN Checked: MGN



Drawing No: **L2**