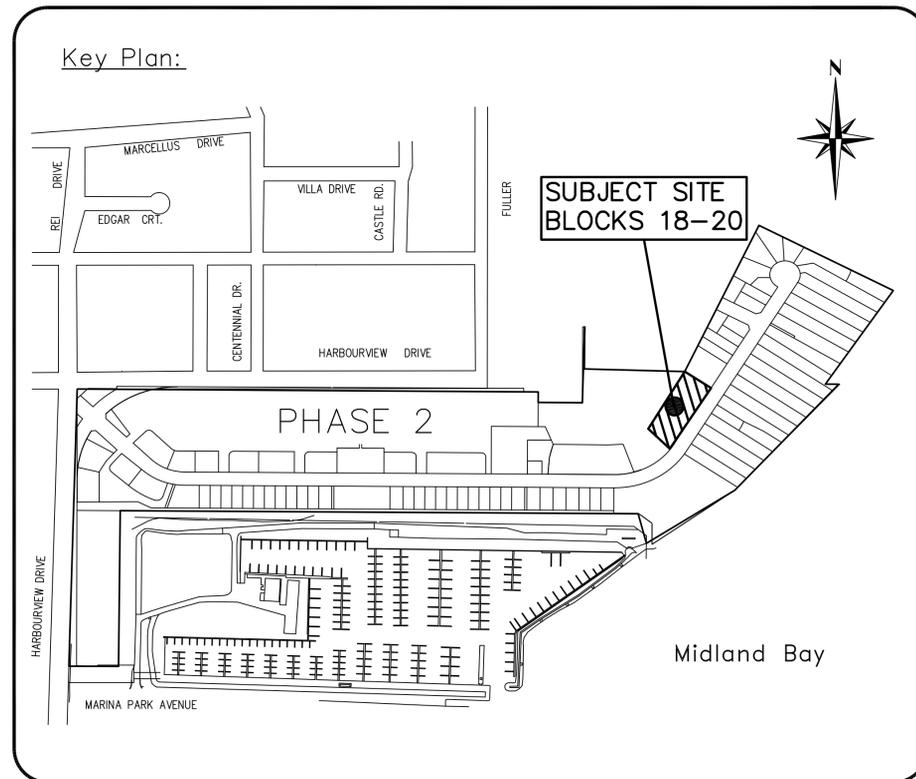


BAYPORT VILLAGE BLOCKS 18-20 TOWNHOUSE DEVELOPMENT

TOWN OF MIDLAND SIMCOE COUNTY



DRAWING #	DRAWING TITLE
-----------	---------------

GEN-18-20	GENERAL SERVICING PLAN
SGR-18-20	SITE GRADING PLAN
STM-18-20	POST-DEVELOPMENT STORM DRAINAGE PLAN
SAN-18-20	SANITARY DRAINAGE PLAN
PMS-18-20	PAVEMENT MARKING AND SIGNAGE PLAN
CUP-18-20	COMPOSITE UTILITY PLAN
ESM-18-20	EROSION & EXCESS SOILS MANAGEMENT PLAN
CMP-18-20	CONSTRUCTION MANAGEMENT PLAN
DS-18-20	DETAILS SHEET

MUNICIPALITY



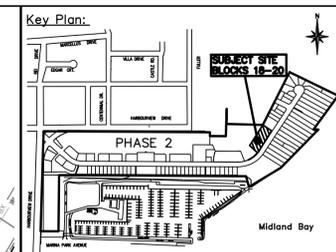
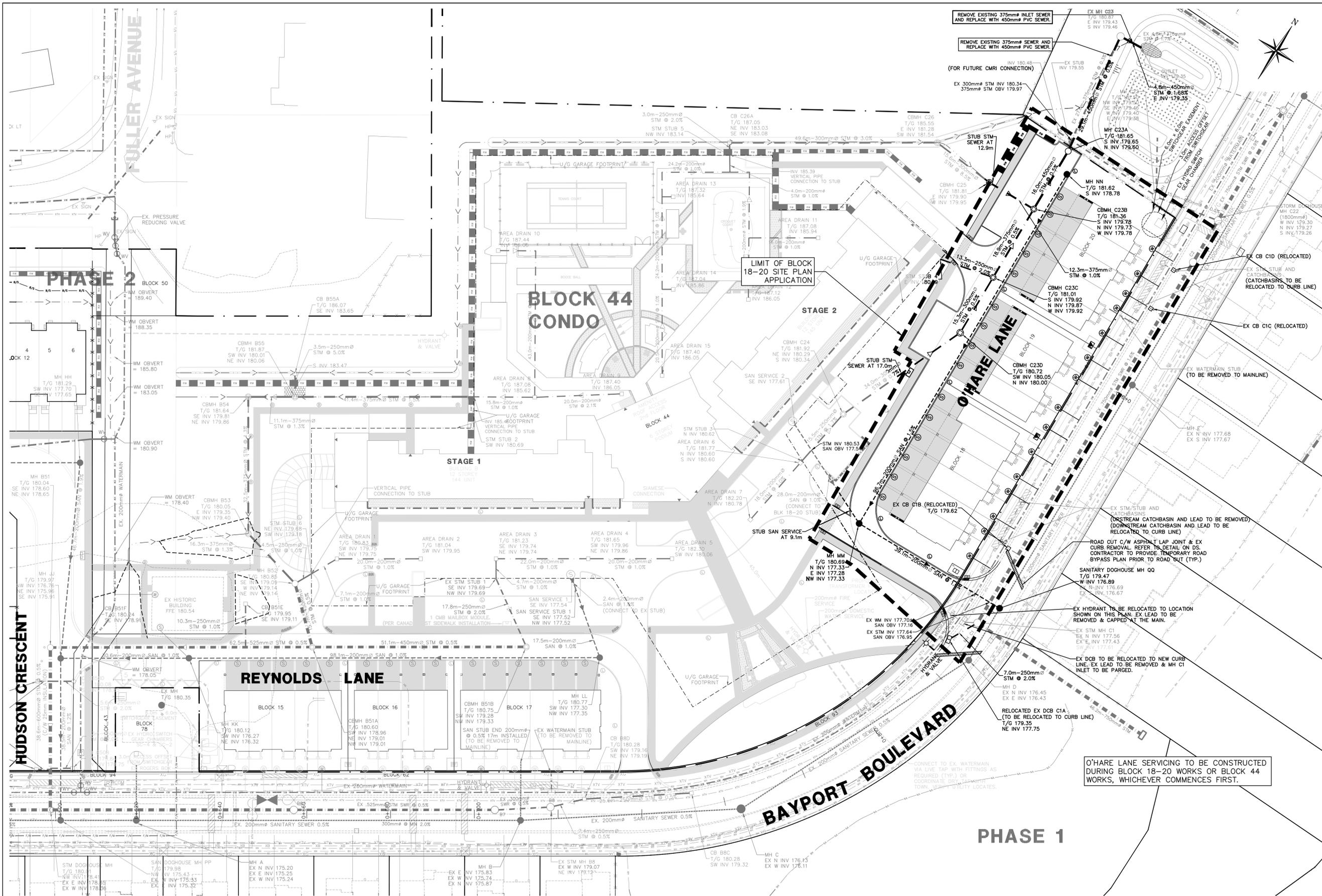
Town of Midland
575 Dominion Avenue
Midland, Ontario
L4R 1R2
Ph 705-526-4275
<https://midland.ca/>

PROJECT ENGINEER



WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

PROJECT No. 07-010



- Legend:**
- EXISTING FEATURES (EX)**
- EX SIE EX STD IRON BAR
 - EX IB EX IRON BAR
 - EX UP EX UTILITY POLE
 - EX BELL PED
 - EX HYDRO TRANSFORMER
 - EX WS EX WATER SERVICE
 - EX HYD EX FIRE HYD.
 - NS EX ST NAME SIGN
 - SS EX STOP SIGN
 - 123.45 EX ELEVATION
 - EX FENCE
 - EX U/G GASMAIN
 - EX U/G BELL
 - EX U/G HYDRO
 - EX WATERMAIN & VALVE
 - EX 0.00mm² SAN @ 0.0%
 - EX 0.00mm² STM @ 0.0%
 - EX SAN SEWER & MH
 - EX STM SEWER & MH
- PROPOSED FEATURES (PR)**
- NS PR STREET NAME SIGN
 - SS PR STOP SIGN
 - SF PR SILT FENCE
 - PR STREET LIGHT
 - PR BOLLARD LIGHT
 - PR HYDRO TRANSFORMER
 - PR WATER SERVICE
 - PR SANITARY SERVICE
 - PR STORM SERVICE
 - PR WATERMAIN
 - PR FIRE HYDRANT
 - PR WATER VALVE
 - PR SANITARY SEWER
 - PR SANITARY MANHOLE
 - PR STORM SEWER
 - PR CATCHBASIN MANHOLE
 - PR MANHOLE
 - PR CATCHBASIN
 - PR ELEVATION
 - PR MATCH EXISTING ELEVATION (INTERPOLATED)
 - PR SWALE
 - PR TACTILE PLATE
 - PR ASPHALT LAP JOINT
 - PR ROOF LEADER

NOTE:

OWNERSHIP OF ALL UNDERGROUND INFRASTRUCTURE LOCATED WITHIN BLOCK 46 (REYNOLDS LANE), BLOCK 45 (O'HARE LANE), AND BLOCK 44 (HIGH-RISE) TO BE ASSUMED BY CONDO CORP.

OWNERSHIP OF UNDERGROUND INFRASTRUCTURE LOCATED WITHIN "HUDSON CRESCENT" RIGHT OF WAY TO BE ASSUMED BY TOWN OF MIDLAND.

CAUTION

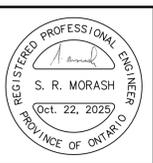
CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

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Benchmark # 1: 186.162m

Top nut of fire hydrant located due South of #1056 Harbourview Drive, on the South side of road.

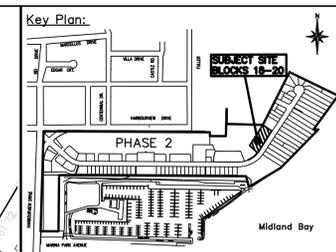
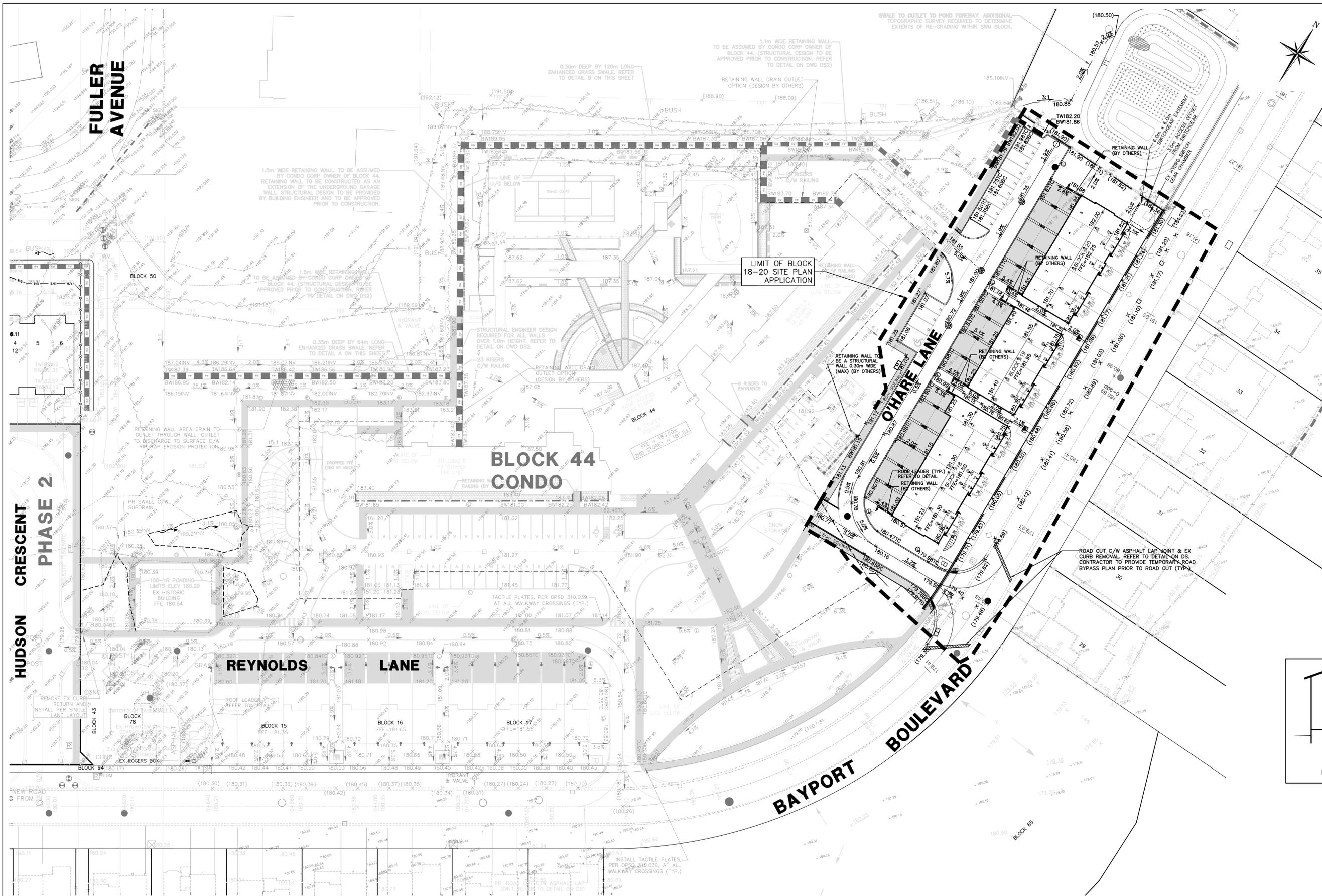


No.	Issue / Revision	Date
1	SPA SUBMISSION #1	OCT. 22, 2025

Client: Lanarose Midland Ltd.
220 Duncan Mill Road, Suite 315
North York, Ontario
M3B 3J5

Project: BAYPORT VILLAGE TOWNHOUSE BLOCKS 18-20 DEVELOPMENT
GENERAL SERVICING PLAN

Drawn By	Checked By	Drawing No.
JB	SM	GEN-18-20
Scale	Project No.	
1:400	07-010FA	



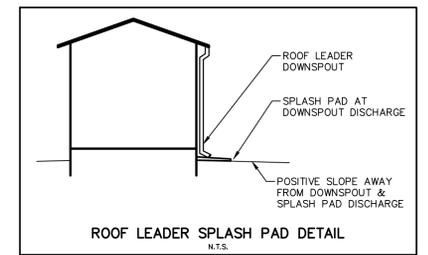
Legend:

EXISTING FEATURES (EX)

- EX STD IRON BAR
- EX IRON BAR
- EX UTILITY POLE
- EX BELL PED
- EX HYDRO TRANSFORMER
- EX WS
- EX HYD
- EX ST NAME SIGN
- EX STOP SIGN
- EX ELEVATION
- EX FENCE
- EX U/G GASMAIN
- EX U/G BELL
- EX U/G HYDRO
- EX WATERMAIN & VALVE
- EX SAN SEWER & MH
- EX STM SEWER & MH

PROPOSED FEATURES (PR)

- NS
- SS
- SF
- ⓪
- Ⓛ
- Ⓜ
- Ⓢ
- Ⓣ
- 0.00m W/M
- 0.00m SAN @ 0.0%
- 0.00m STM @ 0.0%
- CBMH 1
- MH 1
- CB 1A
- 000.00
- x(000.00)
- 0.0%
- 0.0%
- PR STREET NAME SIGN
- PR STOP SIGN
- PR SILT FENCE
- PR STREET LIGHT
- PR BOLLARD LIGHT
- PR HYDRO TRANSFORMER
- PR WATER SERVICE
- PR SANITARY SERVICE
- PR STORM SERVICE
- PR WATERMAIN
- PR FIRE HYDRANT
- PR WATER VALVE
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- PR STORM SEWER
- PR CATCHBASIN MANHOLE
- PR MANHOLE
- PR CATCHBASIN
- PR ELEVATION
- PR MATCH EXISTING ELEVATION (INTERPOLATED)
- PR SWALE
- PR TACTILE PLATE
- PR ASPHALT LAP JOINT
- PR ROOF LEADER



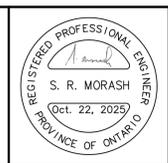
GRADING NOTE
FOR DETAILED LOT GRADING DETAILS & INFORMATION REFER TO ICR ASSOCIATES INC. PLOT PLANS.

CAUTION
CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

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Benchmark # 1: 186.162m
Top nut of fire hydrant located due South of #1056 Harbourview Drive, on the South side of road.

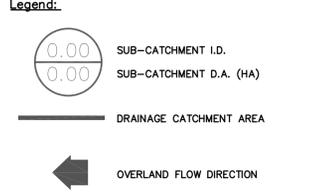
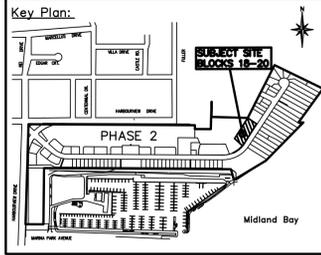
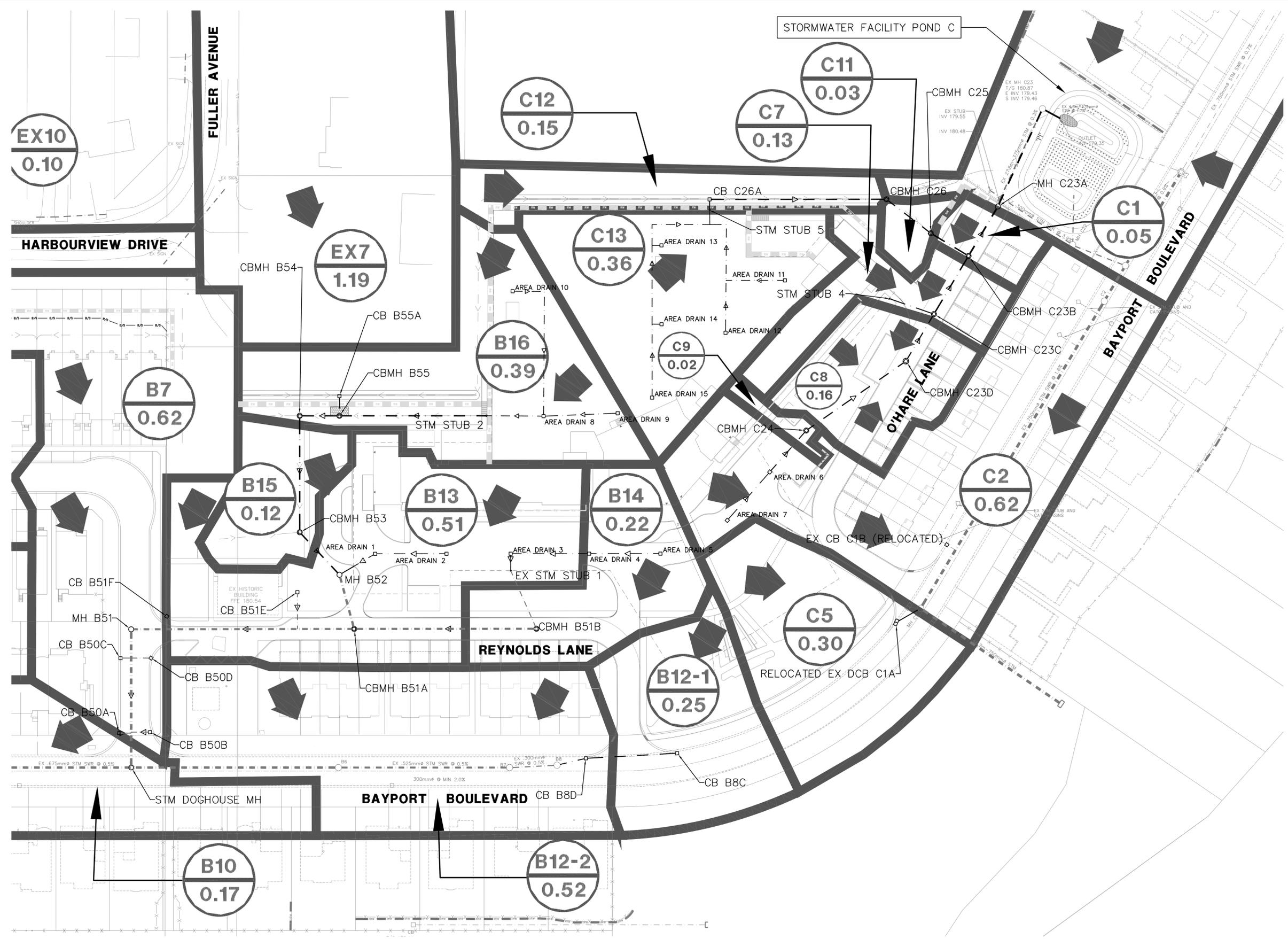


No.	Issue / Revision	Date
1	SPA SUBMISSION #1	OCT. 22, 2025

BAYPORT VILLAGE TOWNHOUSE BLOCKS 18-20 DEVELOPMENT
SITE GRADING PLAN

Client:
Lanarose Midland Ltd.
220 Duncan Mill Road, Suite 315
North York, Ontario
M3B 3J5

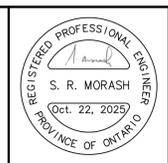
Drawn By	Checked By	Drawing No.
JB	SM	SGR-18-20
Scale	Project No.	
1:400	07-010FA	



Notes:

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Benchmark: 180.420m
 Top nut of hydrant located north of lot #9 and south of the southeast corner of block 69.



No.	Issue / Revision	Date
1	SPA SUBMISSION #1	OCT. 22, 2025

**BAYPORT VILLAGE
 TOWNHOUSE BLOCKS 18-20
 DEVELOPMENT**

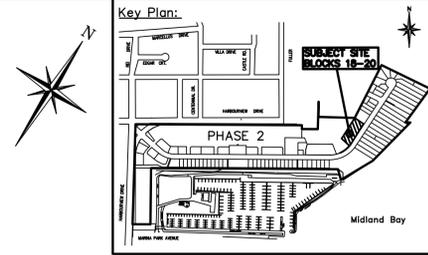
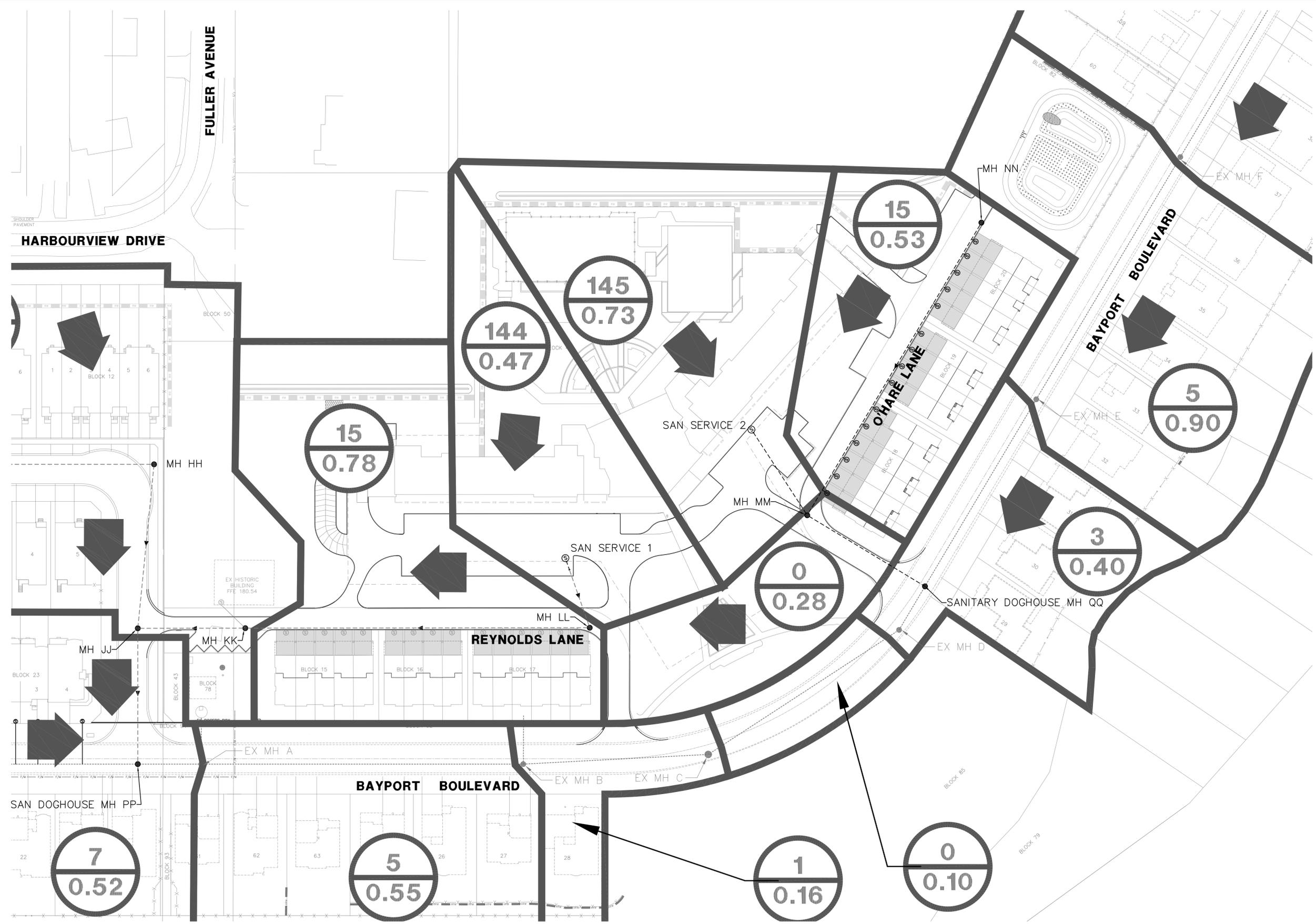
**POST-DEVELOPMENT STORM
 DRAINAGE PLAN**

Client:
 Lanarose Midland Ltd.
 220 Duncan Mill Road, Suite 315
 North York, Ontario
 M3B 3J5

CAUTION
 CONTRACTOR TO DETERMINE
 LOCATION OF EXISTING UTILITIES
 PRIOR TO CONSTRUCTION.

WMI & Associates Limited
 119 Collier Street
 Barrie, Ontario
 L4M 1H5
 Ph 705-797-2027
 www.wmiengineering.ca

Drawn By	JB	Checked By	SM	Drawing No.	
Scale	1:500	Project No.	07-010FA		STM-18-20

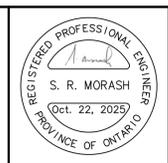


- Legend:**
- RESIDENTIAL UNITS
D.A. (HA)
 - DRAINAGE CATCHMENT AREA
 - SAN. MANHOLE
 - FLOW DIRECTION
 - SEWAGE PUMPS REQUIRED

Notes:

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Benchmark: 180.420m
Top nut of hydrant located north of lot #9 and south of the southeast corner of block 69.



No.	Issue / Revision	Date
1	SPA SUBMISSION #1	OCT. 22, 2025

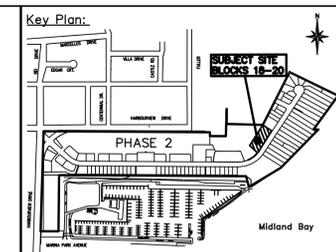
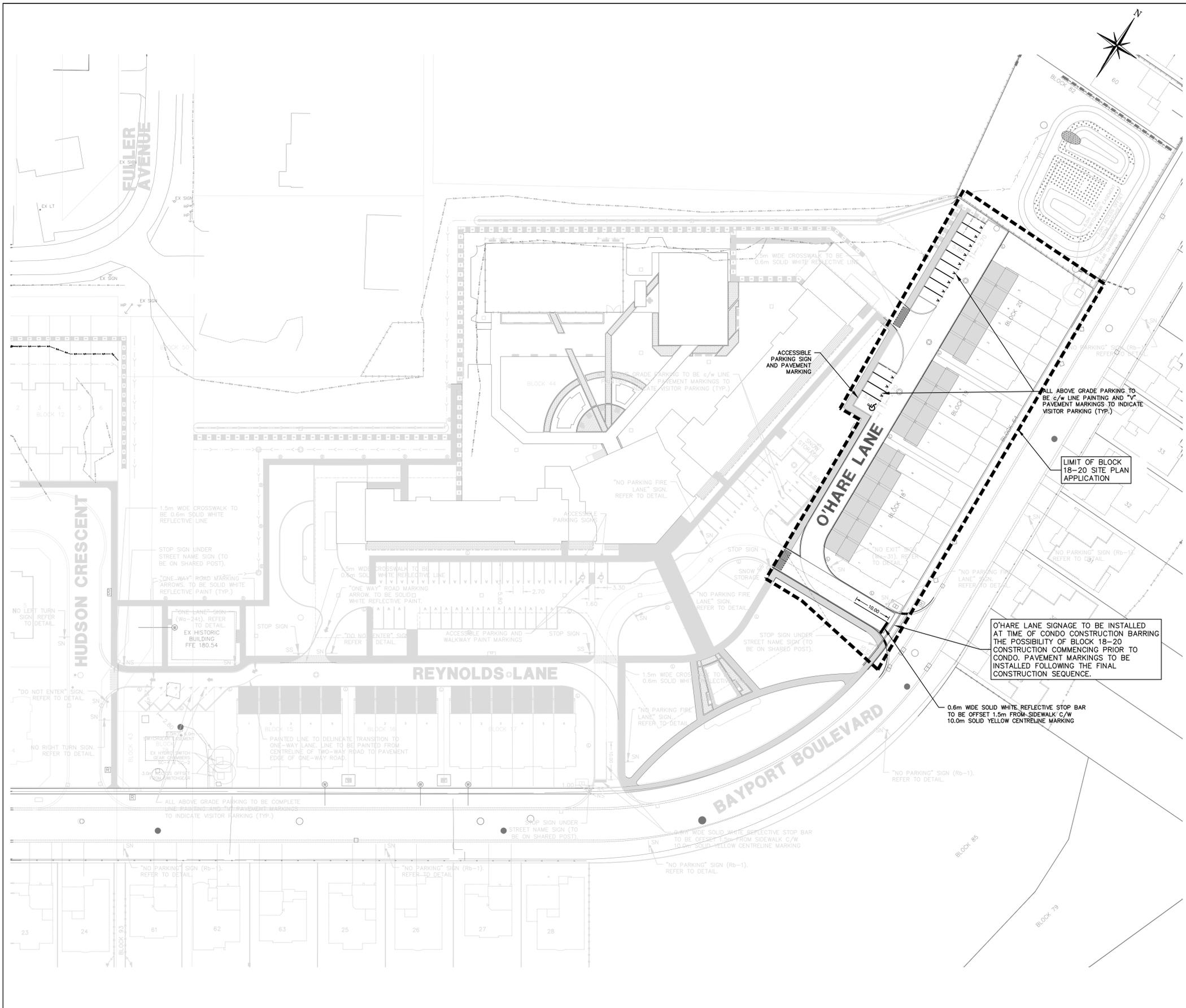
**BAYPORT VILLAGE
TOWNHOUSE BLOCKS 18-20
DEVELOPMENT**
SANITARY DRAINAGE PLAN

Client:
Lanarose Midland Ltd.
220 Duncan Mill Road, Suite 315
North York, Ontario
M3B 3J5

CAUTION
CONTRACTOR TO DETERMINE
LOCATION OF EXISTING UTILITIES
PRIOR TO CONSTRUCTION.

WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	Checked By	Drawing No.
JB	SM	
Scale	Project No.	
1:1500	07-010FA	SAN-18-20



Legend:

EXISTING FEATURES (EX)

EX SIE	EX STD IRON BAR	EX WS	EX WATER SERVICE
EX IB	EX IRON BAR	EX HYD	EX FIRE HYD.
EX UP	EX UTILITY POLE	HP	EX HYDRO POLE
EX BELL	EX BELL PED	SS	EX STOP SIGN
EX HYDRO TRANSFORMER		T23.45	EX ELEVATION
			EX FENCE
			EX U/G GASMAIN
			EX U/G BELL
			EX U/G HYDRO
			EX TOP OF SLOPE
			EX BOTTOM OF SLOPE

PROPOSED FEATURES (PR)

NS	PR STREET NAME SIGN
SS	PR STOP SIGN
SN	PR MISCELLANEOUS SIGN
	PR CROSSWALK
	PR VISITOR PARKING
	PR ONE-WAY TRAFFIC ARROW
	PR FENCE
	PR ACOUSTIC FENCE
	PR STREET LIGHT
	PR FIRE HYDRANT
	PR WATER VALVE
	PR WATER CURB STOP
CBMH 1	PR CATCHBASIN MANHOLE
MH 1	PR MANHOLE
CB 1A	PR CATCHBASIN
*****	PR RETAINING WALL

TYPE OF MARKINGS

NUMBER	NAME OF LINE	DIMENSIONS (m)	USE
1	SOLID WHITE	— 0.1m	EDGE LINES, LANE LINES, PROTECTING LANE CHANGES
2	SOLID YELLOW	— 0.1m	EDGE LINES, DIRECTIONAL DIVIDING LINES
3	DOUBLE SOLID YELLOW	0.1m	DIRECTIONAL DIVIDING LINES
4	DIRECTIONAL SOLID AND BROKEN YELLOW	0.1m	DIRECTIONAL DIVIDING LINES TWO-WAY LEFT-TURN LANE
5	CONDENSED BROKEN WHITE	0.2m	SLIDING LINES AND INTERSECTION MOVEMENTS
6	VOID BROKEN WHITE	0.3m	CONTRAST LINES
7	BROKEN WHITE	0.1m	URBAN LANE LINES, LOW SPEED
8	BROKEN YELLOW	0.1m	DIRECTIONAL DIVIDING LINES
9	BROKEN WHITE	0.1m	LANE LINES, HIGH SPEED ROADWAY
10	STOP BAR	0.6m	INTERSECTION STOP LINES CHANGES
11	CROSSWALK	0.0m	CROSSWALKS (WHITE)

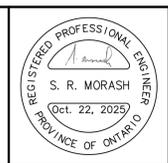
- NOTES:**
- TEMPORARY TRAFFIC CONTROL PROCEDURES AS PER ONTARIO TRAFFIC MANUAL BOOK 7. CONTRACTOR TO HAVE IN PLACE FOR DURATION OF CONSTRUCTION. ADDITIONAL CONTROLS MAY BE REQUIRED AT THE DISCRETION OF THE CONTRACT ADMINISTRATOR AND THE TOWN.
 - SIGNAGE PER TOWN STANDARDS, ONTARIO TRAFFIC MANUAL BOOK 5, AND BOOK 11.
 - STOP BAR, CROSS WALKS, ARROW MARKINGS, AND LANE SYMBOLS TO BE FIELD REACTED POLYMERIC PAVEMENT MARKING MATERIALS WITH REFLECTORIZING PROPERTIES (PER OPSS 710, 1713, AND 1714).
 - MATERIAL SPECIFICATIONS FOR TRAFFIC PAINT AND REFLECTORIZING BEADS SHALL BE AS PER OPSS 1750

CAUTION
CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

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Benchmark: 180.420m
Top nut of hydrant located north of lot #9 and south of the southeast corner of block 69.



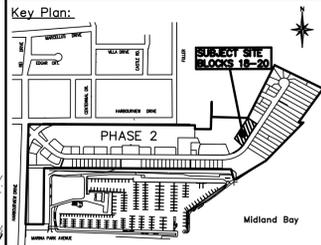
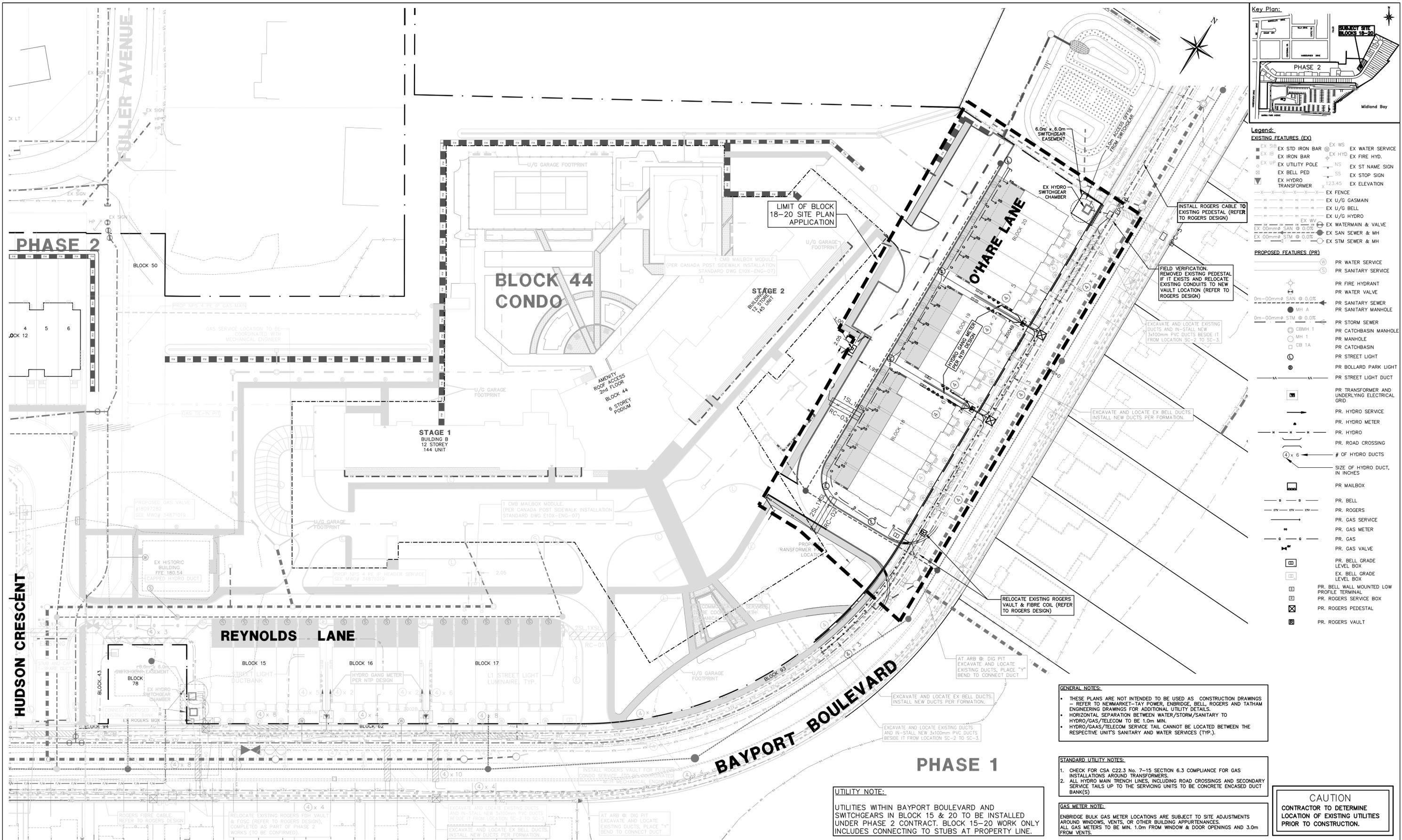
No.	Issue / Revision	Date
1	SPA SUBMISSION #1	OCT. 22, 2025

BAYPORT VILLAGE TOWNHOUSE BLOCKS 18-20 DEVELOPMENT
PAVEMENT MARKING & SIGNAGE PLAN

Client:
Lanarose Midland Ltd.
220 Duncan Mill Road, Suite 315
North York, Ontario
M3B 3J5

wmi
WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By: JB
Checked By: SM
Scale: 1:500
Project No.: 07-010FA
Drawing No.: PMS-18-20



Legend:

EXISTING FEATURES (EX)

- EX STD IRON BAR
- EX IRON BAR
- EX UTILITY POLE
- EX BELL PED
- EX HYDRO TRANSFORMER
- EX FENCE
- EX U/G GASMAIN
- EX U/G BELL
- EX U/G HYDRO
- EX WATERMAIN & VALVE
- EX SAN SEWER & MH
- EX STM SEWER & MH
- EX WS
- EX HYD
- EX ST NAME SIGN
- EX STOP SIGN
- EX ELEVATION

PROPOSED FEATURES (PR)

- PR WATER SERVICE
- PR SANITARY SERVICE
- PR FIRE HYDRANT
- PR WATER VALVE
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- PR STORM SEWER
- PR CATCHBASIN MANHOLE
- PR MANHOLE
- PR CATCHBASIN
- PR STREET LIGHT
- PR BOLLARD PARK LIGHT
- PR STREET LIGHT DUCT
- PR TRANSFORMER AND UNDERLYING ELECTRICAL GRID
- PR HYDRO SERVICE
- PR HYDRO METER
- PR HYDRO
- PR ROAD CROSSING
- # OF HYDRO DUCTS
- SIZE OF HYDRO DUCT, IN INCHES
- PR MAILBOX
- PR. BELL
- PR. ROGERS
- PR. GAS SERVICE
- PR. GAS METER
- PR. GAS
- PR. GAS VALVE
- PR. BELL GRADE LEVEL BOX
- EX. BELL GRADE LEVEL BOX
- PR. BELL WALL MOUNTED LOW PROFILE TERMINAL
- PR. ROGERS SERVICE BOX
- PR. ROGERS PEDESTAL
- PR. ROGERS VAULT

GENERAL NOTES:

- THESE PLANS ARE NOT INTENDED TO BE USED AS CONSTRUCTION DRAWINGS - REFER TO NEWMARKET-TAY POWER, ENBRIDGE, BELL, ROGERS AND TATHAM ENGINEERING DRAWINGS FOR ADDITIONAL UTILITY DETAILS.
- HORIZONTAL SEPARATION BETWEEN WATER/STORM/SANITARY TO HYDRO/GAS/TELECOM TO BE 1.0m MIN.
- HYDRO/GAS/TELECOM SERVICE TAIL CANNOT BE LOCATED BETWEEN THE RESPECTIVE UNIT'S SANITARY AND WATER SERVICES (TYP.).

STANDARD UTILITY NOTES:

- CHECK FOR CSA C22.3 No. 7-15 SECTION 6.3 COMPLIANCE FOR GAS INSTALLATIONS AROUND TRANSFORMERS.
- ALL HYDRO MAIN TRENCH LINES, INCLUDING ROAD CROSSINGS AND SECONDARY SERVICE TAILS UP TO THE SERVICING UNITS TO BE CONCRETE ENCASED DUCT BANK(S).

GAS METER NOTE:

ENBRIDGE BULK GAS METER LOCATIONS ARE SUBJECT TO SITE ADJUSTMENTS AROUND WINDOWS, VENTS, OR OTHER BUILDING APPURTENANCES. ALL GAS METERS TO BE MIN. 1.0m FROM WINDOW & DOOR OPENINGS AND 3.0m FROM VENTS.

UTILITY NOTE:

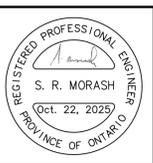
UTILITIES WITHIN BAYPORT BOULEVARD AND SWITCHGEARS IN BLOCK 15 & 20 TO BE INSTALLED UNDER PHASE 2 CONTRACT. BLOCK 15-20 WORK ONLY INCLUDES CONNECTING TO STUBS AT PROPERTY LINE.

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Benchmark: 180.420m

Top nut of hydrant located north of lot #9 and south of the southeast corner of block 69.



No.	Issue / Revision	Date
1	SPA SUBMISSION #1	OCT. 22, 2025

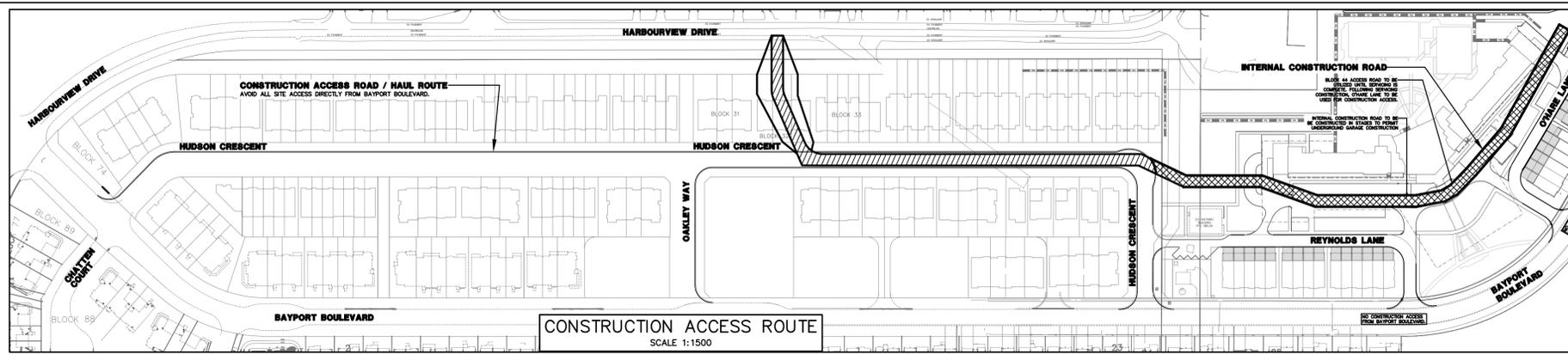
**BAYPORT VILLAGE
TOWNHOUSE BLOCKS 18-20
DEVELOPMENT**

COMPOSITE UTILITY PLAN

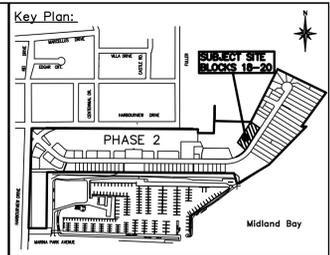
Client:
Lanarose Midland Ltd.
220 Duncan Mill Road, Suite 315
North York, Ontario
M3B 3J5

Drawn By	JB	Checked By	SM	Drawing No.	CUP 18-20
Scale	1:400	Project No.	07-010FA		

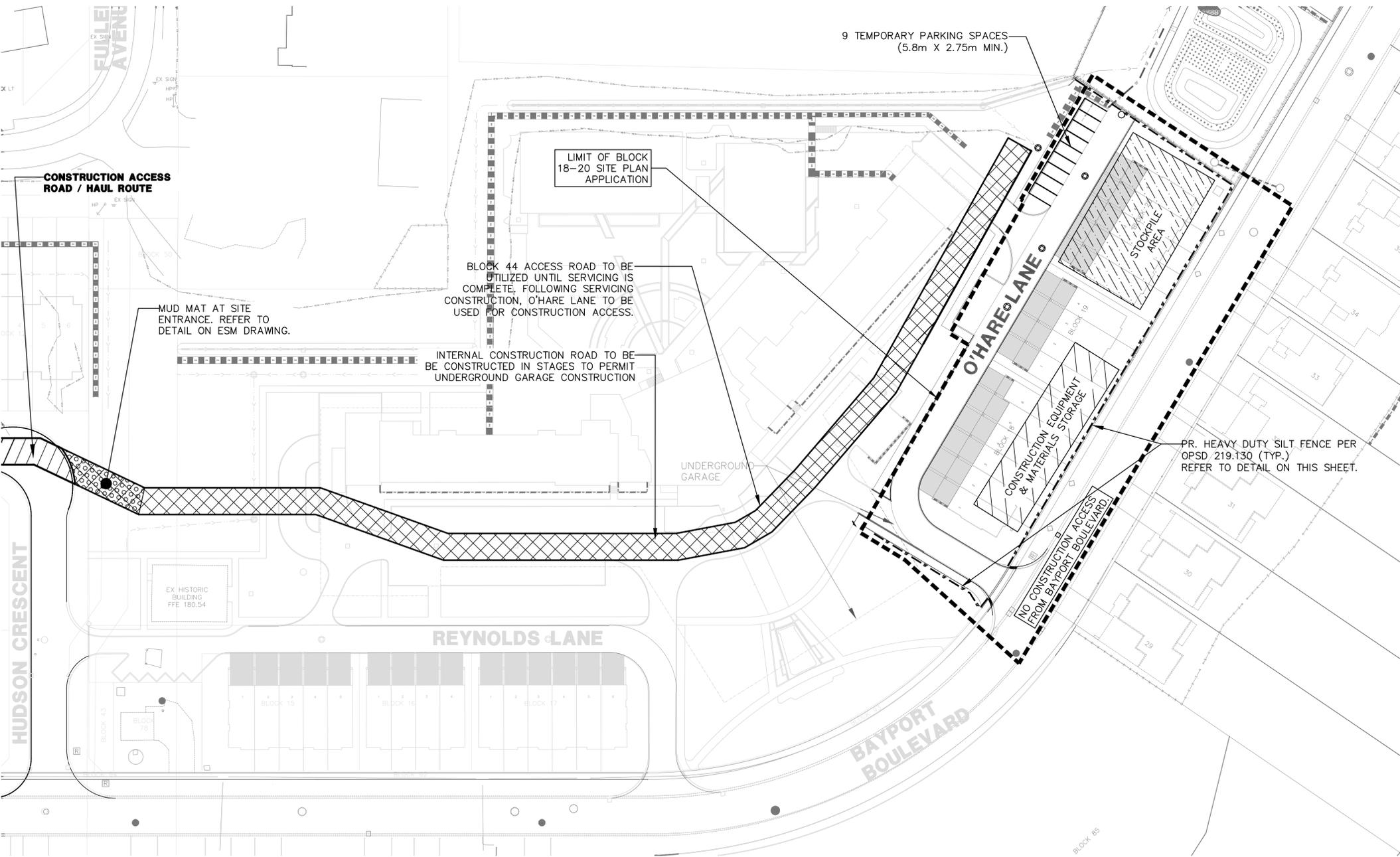
CAUTION
CONTRACTOR TO DETERMINE
LOCATION OF EXISTING UTILITIES
PRIOR TO CONSTRUCTION.



CONSTRUCTION ACCESS ROUTE
SCALE 1:1500



- Legend:**
- PR FIRE HYDRANT
 - PR WATER VALVE
 - MH A PR SANITARY MANHOLE
 - 0m-0.0mm STM 0.0% PR STORM SEWER
 - CBM 1 PR CATCHBASIN MANHOLE
 - MH 1 PR MANHOLE
 - CB 1A PR CATCHBASIN
 - PR SILT FENCE (TYPICAL)
 - ▨ PR STRAW BALE CHECK DAM
 - ▩ PR MUD MAT



- CONSTRUCTION STAGING, PARKING AREA AND MITIGATION NOTES:**
1. THE CONTRACTOR SHALL REGISTER AS THE CONSTRUCTOR WITH THE MINISTRY OF LABOUR.
 2. WORKING HOURS FOR ALL WORK ACTIVITIES SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
 3. PARKING FOR CONSTRUCTION TRADES SHALL BE AS IDENTIFIED ON THE PLAN.
 4. RIGID CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRETY OF APARTMENT BLOCK DURING CONSTRUCTION. TO BE COMPLETE WITH GATES AT EACH ENTRANCE.
 5. THE MANAGEMENT OF STORMWATER DURING ALL CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH THE EROSION AND EXCESS SOILS MANAGEMENT PLAN.
 6. CONSTRUCTION DEBRIS AND GARBAGE TO BE STORED ON SITE IN APPROPRIATE BINS. BINS ARE NOT TO BE OVER FILLED AND ARE TO BE HAULED OFF SITE IMMEDIATELY AFTER BEING FILLED.
 7. ALL BUILDING AND CONSTRUCTION MATERIAL STAGED ON SITE ARE TO BE STAGED AND MAINTAINED IN A NEAT AND ORDERLY FASHION.
 8. ALL FOREIGN MATERIALS ENCOUNTERED ON SITE (CONCRETE, ASPHALT, WOOD, PLASTIC, ETC) ARE TO BE REMOVED IMMEDIATELY FROM SITE AND ARE PROHIBITED FROM BEING STORED ON SITE OUTSIDE OF A PROPER BIN.

CAUTION
CONTRACTOR TO DETERMINE
LOCATION OF EXISTING UTILITIES
PRIOR TO CONSTRUCTION.

Notes:

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2. Do not scale drawings.
3. It is the contractor's responsibility to verify all dimensions, levels and datums on site and report any discrepancies or omissions to WMI & Associates Ltd. prior to construction.
4. This drawing is to be read and understood in conjunction with all other relevant documents applicable to this project.
5. This drawing is the exclusive property of WMI & Associates Ltd. and the reproduction of any part of this document without prior written consent is strictly prohibited.

Benchmark: 180.420m
Top nut of hydrant located north of lot #9 and south of the southeast corner of block 69.



No.	Issue / Revision	Date
1	SPA SUBMISSION #1	OCT. 22, 2025

**BAYPORT VILLAGE
TOWNHOUSE BLOCKS 18-20
DEVELOPMENT**
**CONSTRUCTION MANAGEMENT
PLAN**

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Drawn By: JB	Checked By: SM	Drawing No.:
Scale: 1:500	Project No. 07-010FA	CMP-18-20

GENERAL

- ALL MEASUREMENTS ARE IN METRES, PIPE SIZES IN MILLIMETRES, UNLESS OTHERWISE NOTED.
- THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS AND THE ONTARIO PROVINCIAL DRAWINGS, MIDLAND PUC AND TOWN OF MIDLAND DEVELOPMENT DESIGN STANDARDS SHALL APPLY TO THIS CONTRACT.
- ORDER OF PRECEDENCE OF STANDARD DRAWINGS IS FIRSTLY TOWN OF MIDLAND DEVELOPMENT DESIGN STANDARDS, SECONDLY MIDLAND PUC STANDARDS, AND THIRDLY ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD).
- LOCATIONS OF EXISTING SERVICES ARE NOT GUARANTEED. CONFIRM EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- A ROAD OCCUPANCY PERMIT IS REQUIRED FROM THE TOWN OF MIDLAND PRIOR TO THE COMMENCEMENT OF WORK WITHIN ANY TOWN RIGHT-OF-WAY.
- NATIVE MATERIAL SUITABLE FOR BACKFILL SHALL BE COMPACTED TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY, UNLESS OTHERWISE NOTED. ENGINEERED FILL (ON LOTS), SHALL BE COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- GRANULAR MATERIAL AND BEDDING MATERIAL SHALL BE PLACED IN LAYERS 150mm IN DEPTH AND COMPACTED TO 98% (ROAD GRAN 'A' & GRAN 'B') OR 98% (BEDDING AND COVER) STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS DIRECTED BY THE SOILS CONSULTANT.
- ALL DISTURBED AREAS WITHIN EXISTING MUNICIPAL RIGHT-OF-WAYS ARE TO BE REINSTATED TO THEIR ORIGINAL CONDITION OR BETTER AS DETERMINED BY THE TOWN OF MIDLAND (MIN 150mm TOPSOIL AND SOD). ALL OTHER DISTURBED AREAS TO BE TOP SOILED AND SEEDED PRIOR TO ACCEPTANCE.
- ALL SILT CONTROL AND EROSION PROTECTION DEVICES ARE TO BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL CONSTRUCTION IS COMPLETE, THE GRASS HAS ESTABLISHED GROWTH, AND APPROVED BY THE ENGINEER.
- UTILITY CROSSING, WHERE REQUIRED, SHALL BE SUPPORTED AS PER OPSD 1007.01 AND ANY EXISTING STRUCTURES SHALL BE PROPERLY SUPPORTED.
- CONTRACTOR SHALL COORDINATE HIS WORK SUCH THAT HE DOES NOT INTERFERE WITH WORK BEING UNDERTAKEN BY A UTILITY COMPANY.
- ALL SIDEWALKS SHALL BE CONSTRUCTED ON A PROPERLY CONSTRUCTED FOUNDATION OF 150 mm MINIMUM DEPTH OF GRANULAR "A" AND BE PAVED WITH CONCRETE FULL WIDTH. THICKNESS TO BE 200 mm ACROSS COMMERCIAL AND INDUSTRIAL ENTRANCES. ALL CONCRETE MATERIALS AND WORK SHALL CONFORM TO O.P.S. SPECIFICATIONS, USING THE TOWN OF MIDLAND CONCRETE MIX DESIGN.
- CHAIN LINK FENCE INSTALLED AS PER OPSD 972.130 WITH TOP RAIL, KNUCKLED TOP EDGE FASTENERS, KNUCKLED BOTTOM EDGE AND NO. 9 GAUGE WIRE.
- ALL DRIVEWAYS SHALL BE CONSTRUCTED ON A PROPERLY CONSTRUCTED FOUNDATION OF 150 mm MINIMUM DEPTH OF GRANULAR "A" AND BE PAVED WITH 50 mm H3 (TYP.)
- ALL SEWER SYSTEMS INCLUDING SERVICE CONNECTIONS TO THE PROPERTY LINE, MANHOLES AND CATCHBASINS SHALL BE THOROUGHLY FLUSHED AND/OR CLEANED OF DEBRIS AND ALL PIPES SHALL BE TESTED IN ACCORDANCE WITH OPS AND SHALL BE INSPECTED BY AN APPROVED VIDEO CAMERA TESTING COMPANY AND THE TOWN ENGINEER SHALL BE PROVIDED A COPY OF APPROPRIATE DATA UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL. ANY SECTIONS OF SEWER OR SERVICE CONNECTIONS THAT FAIL TO MEET THE REQUIREMENTS SHALL BE REPAIRED OR REPLACED AT THE DIRECTION OF THE TOWN ENGINEER. ONLY CHEMICAL PRESSURE GROUTING REPAIR TECHNIQUES WILL BE CONSIDERED ACCEPTABLE.

ROADS

- PROVISIONS MUST BE MADE TO CLEAN THE ROADS DAILY IF NECESSARY, DURING CONSTRUCTION, AT THE CONTRACTOR'S EXPENSE.
- NATIVE SUBGRADE TO BE COMPACTED TO MINIMUM 98% STANDARD PROCTOR MAXIMUM DRY DENSITY AND SHALL BE PROOF ROLLED WITH TOWN AND ENGINEER PRESENT.
- NON-COMPRESSIBLE BACK FILL WILL BE USED DURING REBUILDING, ADJUSTING, OR ANY OTHER APPLICABLE CATCHBASIN OR MAINTENANCE HOLE WORKS.
- CURBING TO BE CONCRETE BARRIER CURB AS PER OPSD 600.100.
- CURBS TO BE DEPRESSED AT INTERSECTION FOR SIDEWALKS PER OPSD 310.030.

STORM

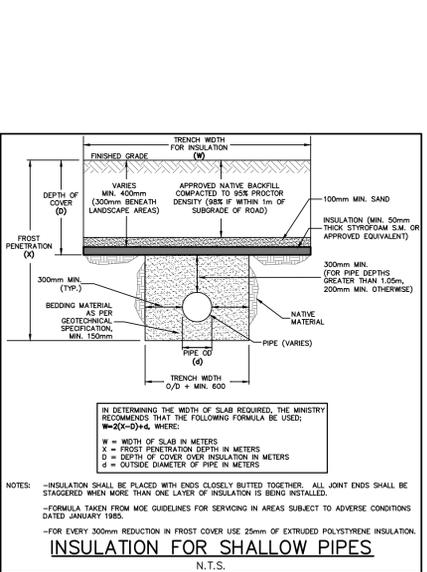
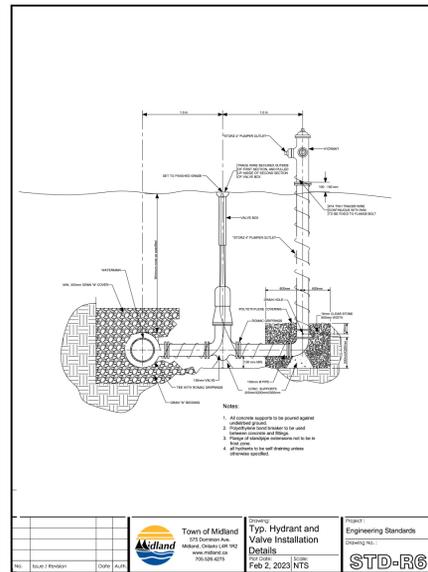
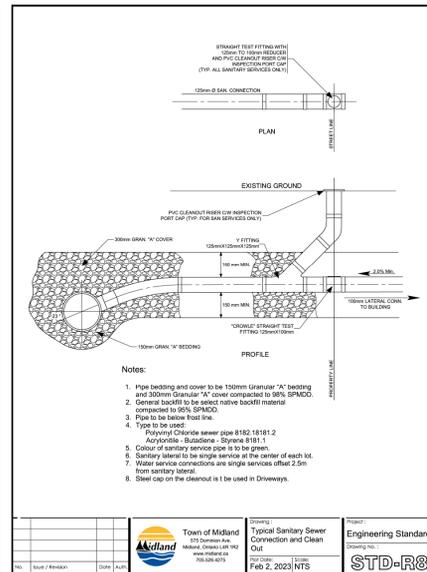
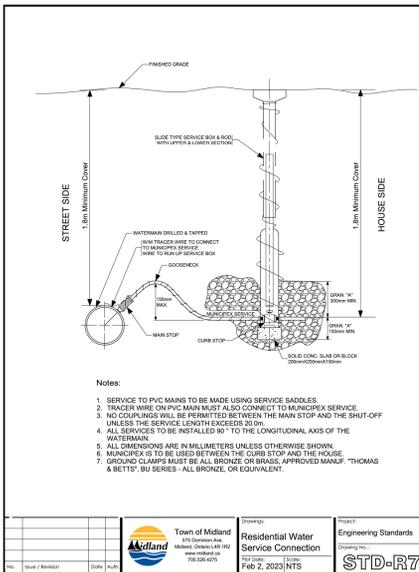
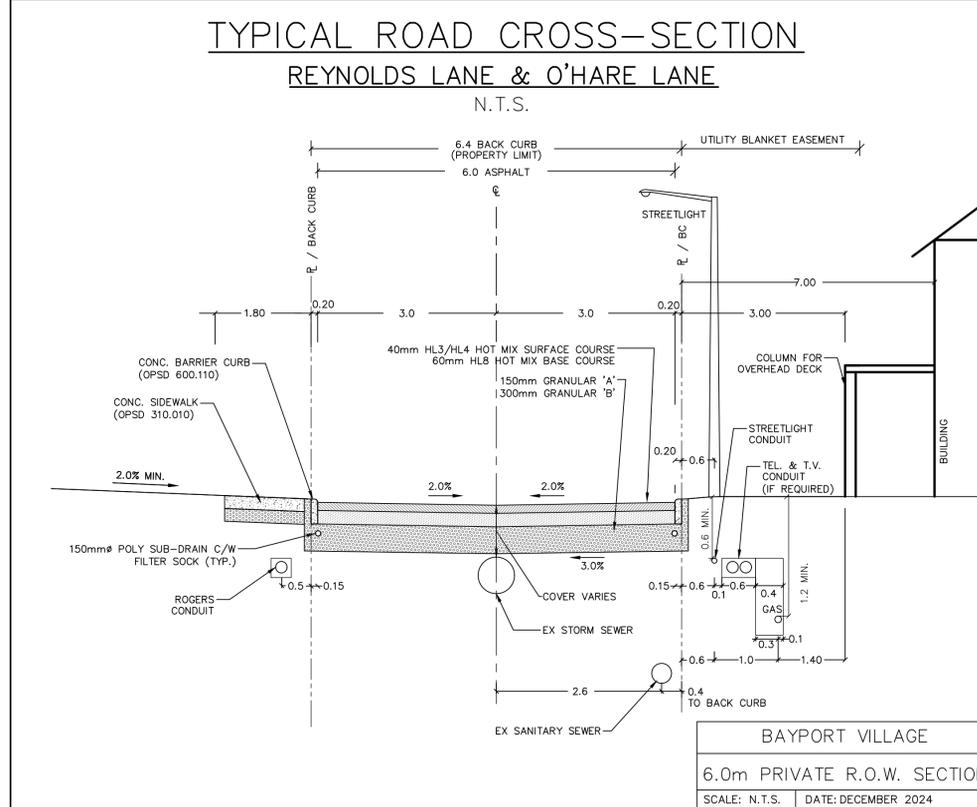
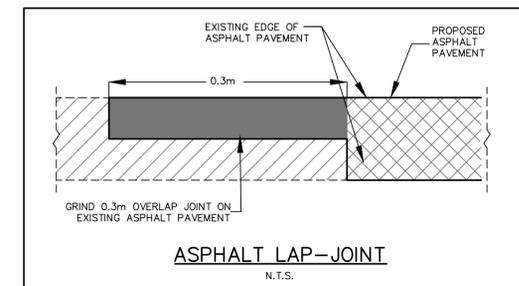
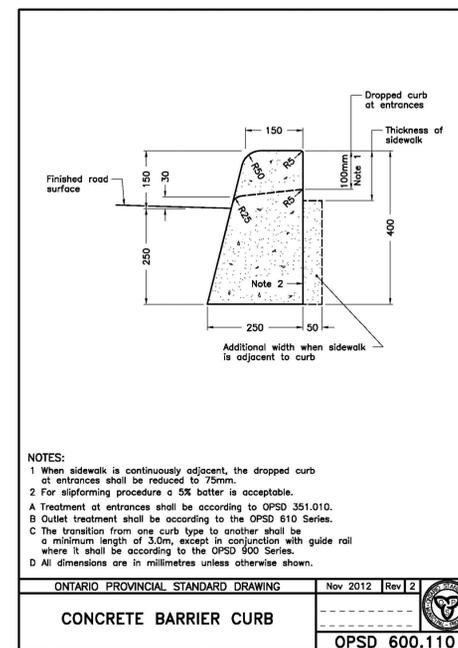
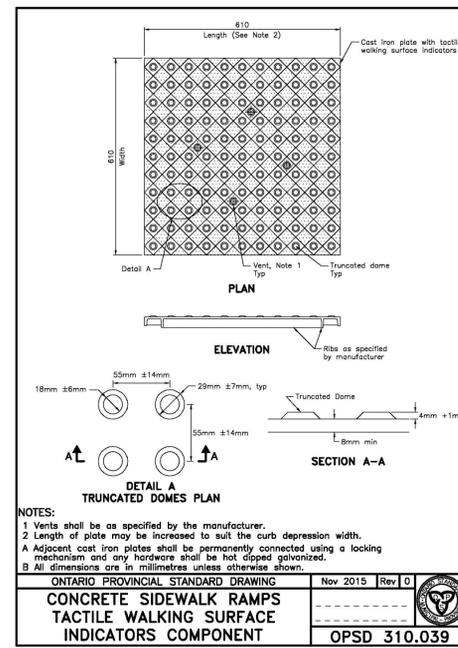
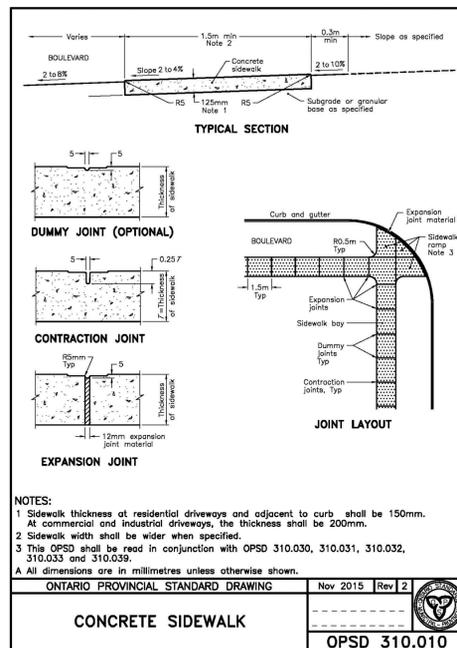
- STORM SEWER UNDER 450mm DIAMETER TO BE EITHER PVC DR35 OR CONCRETE. STORM SEWER GREATER THAN 450mm DIAMETER TO BE CONCRETE. CONCRETE STORM SEWERS TO CONFORM TO CSA A257.1 AND A257.2 (.65-D OR EQUIVALENT).
- SEWERS SHALL BE CONSTRUCTED WITH BEDDING AS PER OPSD 802.03, CLASS B-1, GRANULAR A.
- PRECAST STORM MANHOLES (MIN. 1200MMØ) OPSD 701.010 UNLESS OTHERWISE NOTED AND CATCHBASINS OPSD 705.010.
- CATCHBASIN LEADS TO BE 2.0% MIN. GRADE, 250mmØ FOR SINGLE CATCHBASIN AND 300mmØ FOR DOUBLE CATCHBASIN.
- MANHOLE BENCHING SHALL CONFORM WITH OPSD 701.021 AND DROP STRUCTURES SHALL CONFORM WITH 1003.010.
- MAINTENANCE HOLE TOPS (FRAMES) OPSD 401.01 AND CATCH BASIN (FRAMES) OPSD 400.02 (WITH TYPE B OPEN COVER) ARE TO BE SET TO BASE COURSE ASPHALT GRADE AND THEN ADJUSTED TO FINAL GRADE WHEN THE TOP LIFT OF ASPHALT IS PLACED.
- ALL CONNECTIONS TO THE STORM MAIN SHALL BE MADE WITH A STORM MANHOLE OR APPROVED FACTORY TEE CONNECTION AS PER OPSD 708.03.
- ALL STORM MANHOLES SHALL BE COMPLETED WITH FROST STRAPS PER OPSD 701.100.
- ALL SHALLOW PIPE THAT HAS LESS THAN 1.2m OF COVER SHALL BE INSULATED PER DETAIL ON DRAWING DS1.

SANITARY

- SANITARY SEWER SHALL BE PVC (SDR 35) PIPE WITH RUBBER GASKET JOINTS WHICH CONFORM TO C.S.A. B-182.2,3,4.
- PRECAST SANITARY MANHOLES SHALL CONFORM WITH OPSD 701.010 (1200mmØ) WITH FRAME & COVER OPSD 401.010 AND SOLID RECTANGULAR RUNGS, OPSD 405.020. ALL STRUCTURES MUST HAVE WATERPROOF WRAPPED JOINTS.
- SANITARY MANHOLE BENCHING AS PER OPSD 701.021.
- SANITARY SERVICE CONNECTIONS TO BE MARKED 2.0m PAST PROPERTY LINE WITH A 50x100mm WOOD MARKER, PAINTED GREEN, EXTENDING FROM THE SERVICE INVERT TO 300mm ABOVE GROUND LEVEL.
- SANITARY SERVICE CONNECTION PIPE TO BE A MINIMUM 125mmØ PVC DR28, RUBBER GASKET TYPE JOINTS AND SHALL CONFORM TO CSA (B-182.2,3,4) (COLOURED) FOR A RESIDENTIAL HOUSE AND MINIMUM 150mmØ PVC DR28 FOR INDUSTRIAL, COMMERCIAL DEVELOPMENT. PVC TEST TEES TO BE INSTALLED AT PROPERTY LINE FOR RESIDENTIAL HOUSES, COMPLETE WITH SCREW ON CAP.
- SEWERS SHALL BE CONSTRUCTED WITH BEDDING AS PER OPSD-802.010, (GRAN. 'A' EMBEDMENT MATERIAL) FOR FLEXIBLE PIPES UNLESS OTHERWISE ADVISED BY A GEOTECHNICAL ENGINEER.
- ALL SANITARY SEWER IS REQUIRED TO BE AIR TESTED TO THE SATISFACTION OF THE ENGINEERS AND TOWN.
- MAINTENANCE HOLE TOPS (FRAMES) ARE TO BE SET TO BASE COURSE ASPHALT GRADE AND THEN ADJUSTED TO FINAL GRADE WHEN THE TOP LIFT OF ASPHALT IS PLACED.
- ALL SANITARY MANHOLES SHALL BE COMPLETED WITH FROST STRAPS PER OPSD 701.100.

WATERMAIN

- CONTRACTOR SHALL INFORM THE TOWN OF MIDLAND A MINIMUM OF 48 HOURS IN ADVANCE OF THEIR INTENTIONS TO WORK.
- WATERMAIN MATERIAL TO BE PVC (CLASS 150, DR-18) AND, SHALL SATISFY AWWA C900 SPECIFICATION, AND ALL WATERMAIN TESTING IN ACCORDANCE WITH TOWN STANDARDS.
- MECHANICAL JOINT FITTINGS MEETING AWWA SPECIFICATIONS C-907 AND CSA B137.2 SHALL BE USED WHERE APPLICABLE, ON 150mm TO 400mm IN DIAMETER PVC WATERMAIN. SHOULD DUCTILE IRON MECHANICAL JOINT FITTINGS BE EMPLOYED, THE CONTRACTOR SHALL INSTALL SACRIFICIAL CAPS ON EVERY BOLT. PVC JOINTS USING MECHANICAL JOINT FITTINGS ARE TO BE SQUARE CUT, NOT BEVELED.
- WATERMAIN BEDDING SHALL CONFORM TO OPSD 802.010 (GRAN "A" EMBEDMENT) FOR FLEXIBLE PIPE UNLESS OTHERWISE APPROVED BY THE TOWN OF MIDLAND.
- NO WATERMAIN IS TO BE LAID ON FILL UNTIL THE DENSITY REPORT HAS BEEN SUBMITTED TO AND APPROVED BY THE ENGINEER. FILL TO BE PLACED TO 0.6m MINIMUM ABOVE THE TOP OF THE WATERMAIN GRADED AND COMPACTED AS PER OPSD 501. TESTS SHALL BE TAKEN ALONG THE CENTRE LINE OF THE WATERMAIN AND 2.50m EITHER SIDE OF THE WATERMAIN AT A MAXIMUM INTERVAL OF 30m AT EACH 0.6m LIFTS. ALL TEES, HORIZONTAL BENDS, AND BRANCH VALVES IN FILL AREAS TO BE TIED WITH THE TIE RODS IN ADDITION TO CONCRETE THRUST BLOCKING PER OPSD 1103.010 AND 1103.020.
- ROMAC GRIP RINGS TO BE USED ON ALL MECHANICAL FITTINGS.
- CATHODIC PROTECTION IN THE FORM OF ANODES AND SACRIFICIAL CAPS TO BE INSTALLED ON ALL WATERMAIN FITTINGS.
- TRACING WIRE TO BE INSTALLED ON TOTAL LENGTH OF PVC WATERMAIN (#12 TWJ STRANDED COPPER), BROUGHT UP AT ALL VALVE AND HYDRANT LOCATIONS AND SECURED TO TOP FLANGE BOLT.
- INSULATE WATER SERVICES WITH HI-40 INSULATION WHERE 0.5m SEPARATION FROM OTHER UTILITIES CANNOT BE MAINTAINED. INSULATION TO EXTEND 0.5m BEYOND OUTSIDE DIAMETER OF BOTH PIPES.
- ALL WATER SERVICES SHALL BE 25mmØ MUNICIPLEX WITH TRACER WIRE. URECON INSULATION REQUIRED WHERE DEPTH OF COVER IS LESS THAN 1.9m. WATER SERVICE SADDLES SHALL BE USED WHEN TAPPING INTO PVC WATERMAIN.
- SERVICE TAPPINGS SHALL BE PLACED AT A MINIMUM SEPARATION OF 1.0m AND A MINIMUM OF 0.6 m FROM JOINTS (ENDS OF PIPE).
- MINIMUM DEPTH OF COVER OVER WATERMAIN TO BE 1.9 METRES.
- WHERE WATERMAIN CONFLICTS WITH SEWER PIPES, DEFLECT WATERMAIN OVER OR UNDER SEWERS. PROVIDE A MINIMUM OF 0.5m CLEARANCE BETWEEN WATERMAIN AND SEWERS.
- MINIMUM HORIZONTAL CLEARANCE BETWEEN WATERMAIN AND SEWERS TO BE 2.5 METRES.
- MATERIAL SPECIFICATIONS ARE AS FOLLOWS:
 - HYDRANTS: CANADA VALVE CENTURY/PREMIERE MODEL OPENING COUNTER CLOCKWISE, AWWA C502 WITH STORTZ PUMPER ATTACHMENTS (SEE TOWN OF MIDLAND TYPICAL HYDRANT AND VALVE INSTALLATION DETAIL ON DS)
 - VALVES: MUELLER RESILIENT SEAT AWWA C509
 - VALVE BOXES: BIBBY
 - SADDLES: ROCKWELL 371 & 372
 - MAIN STOP: MUELLER AWWA C800
 - CURB STOP: MUELLER AWWA C800
 - SERVICE BOXES: MUELLER WITH STAINLESS STEEL RODS
- WATERMAIN TESTING TO BE IN ACCORDANCE WITH TOWN OF MIDLAND ENGINEERING DEVELOPMENT STANDARDS (I.E. SWABBING, PRESSURE TESTING, CHLORINATING ETC.).
- PRESSURE REDUCING VALVES SHALL BE CLA-VAL MODEL 90-48 (OR EQUIVALENT) COMPLETE WITH DURLYN SLEEVES AND PRESSURE GAUGES IN 1500 VALVE CHAMBER OPSD 1101.010 C/W SUMP.
- DOUBLE CHECK VALVES (FOR FUTURE PRIVATE SITE PLAN WORKS) SHALL BE 150 mm WATTS SERIES 909 OR APPROVED EQUIVALENT.
- PRIOR TO INSTALLATION, CONTRACTOR IS TO PROVIDE A WATERMAIN COMMISSIONING PLAN TO THE ENGINEER AND TO THE TOWN FOR APPROVAL. THE TOWN AND ENGINEER MUST BE ON SITE TO WITNESS INSTALLATION OF WATERMAIN. 48 HOURS NOTICE IS REQUIRED. IF CONTRACTOR INSTALLS SERVICING WITH NO TOWN AND ENGINEER INSPECTION THEY MAY BE REQUIRED TO REMOVE AND RE-INSTALL THE SERVICING AT THEIR OWN COST.



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Benchmark: 186.162m
Top nut of fire hydrant located due South of #1056 Harbourview Drive, on the South side of road.



No.	Issue / Revision	Date
1	SPA SUBMISSION #1	OCT. 22, 2025

No.	Issue / Revision	Date

BAYPORT VILLAGE TOWNHOUSE BLOCKS 18-20 DEVELOPMENT
DETAILS SHEET

Client: Lanarose Midland Ltd.
220 Duncan Mill Road, Suite 315
North York, Ontario
M3B 3J5

Drawn By	JB	Checked By	SM	Drawing No.	DS-18-20
Scale	N.T.S.	Project No.	07-010FC		



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