

ZONING BY-LAW 2004-90
 RESIDENTIAL TOWNHOUSES - RT-WW

REGULATION	REQUIRED	PROPOSED
LOT AREA (MINIMUM/PER DWELLING UNIT)	49.82 m ²	797.13 m ²
LOT FRONTAGE (MINIMUM)	INTERIOR	6.30 m
	END	8.75 m
	CORNER	10.82 m
LOT COVERAGE (MAXIMUM)	46.60%	371.43 m ²
FRONT YARD SETBACK (MINIMUM)		3.47 m
REAR YARD SETBACK (MINIMUM)		6.90 m
INTERIOR SIDE YARD SETBACK (MINIMUM)		2.90 m
INTERIOR SIDE YARD SETBACK (MINIMUM) (COMMON WALL)		0.00 m
EXTERIOR SIDE YARD SETBACK (MINIMUM)		3.45 m
BUILDING HEIGHT (MAXIMUM)		15.00 m

* DENOTES VARIANCE REQUIRED

ZONING BY-LAW 2004-90
 RESIDENTIAL TOWNHOUSES - RT-XX

REGULATION	REQUIRED	PROPOSED
LOT AREA (MINIMUM/PER DWELLING UNIT)	196.49 m ²	1178.90 m ²
LOT FRONTAGE (MINIMUM)	INTERIOR	6.40 m
	END	8.40 m
	CORNER	10.82 m
LOT COVERAGE (MAXIMUM)	47.97%	565.57 m ²
FRONT YARD SETBACK (MINIMUM)		5.95 m
REAR YARD SETBACK (MINIMUM)		7.62 m
INTERIOR SIDE YARD SETBACK (MINIMUM)		1.55 m
INTERIOR SIDE YARD SETBACK (MINIMUM) (COMMON WALL)		0.00 m
EXTERIOR SIDE YARD SETBACK (MINIMUM)		N/A
BUILDING HEIGHT (MAXIMUM)		12.00 m

* DENOTES VARIANCE REQUIRED

PARKING CALCULATIONS - RT-WW

REGULATION	REQUIRED	PROPOSED
PARKING SPACES - APARTMENTS (MINIMUM)	1.5 SPACES PER UNIT = 336 SPACES	284 SPACES (1.26 SPACES PER UNIT)
VISITOR PARKING SPACES (MINIMUM) (INCL UDED)	25% OF TOTAL = 84 SPACES	84 SPACES
TOTAL PARKING SPACES:	336 SPACES	* 284 SPACES

* DENOTES VARIANCE REQUIRED

PARKING CALCULATIONS - RT-XX

REGULATION	REQUIRED	PROPOSED
PARKING SPACES - APARTMENTS (MINIMUM)	1.5 SPACES PER UNIT = 82 SPACES (2.00 SPACES PER UNIT)	62 SPACES (2.00 SPACES PER UNIT)
VISITOR PARKING SPACES (MINIMUM) (INCL UDED)	25% OF TOTAL = 16 SPACES	16 SPACES
TOTAL PARKING SPACES:	82 SPACES	62 SPACES

* DENOTES VARIANCE REQUIRED

ZONING BY-LAW 2004-90
 RESIDENTIAL TOWNHOUSES - RT-YY

REGULATION	REQUIRED	PROPOSED
LOT AREA (MINIMUM/PER DWELLING UNIT)	146.84 m ²	891.09 m ²
LOT FRONTAGE (MINIMUM)	INTERIOR	5.03 m
	END	6.73 m
	CORNER	7.40 m
LOT COVERAGE (MAXIMUM)	48.83%	430.20 m ²
FRONT YARD SETBACK (MINIMUM)		3.97 m
REAR YARD SETBACK (MINIMUM)		5.98 m
INTERIOR SIDE YARD SETBACK (MINIMUM)		1.55 m
INTERIOR SIDE YARD SETBACK (MINIMUM) (COMMON WALL)		0.00 m
EXTERIOR SIDE YARD SETBACK (MINIMUM)		1.47 m
BUILDING HEIGHT (MAXIMUM)		12.00 m

* DENOTES VARIANCE REQUIRED

ZONING BY-LAW 2004-90
 RESIDENTIAL TOWNHOUSES - RT-ZZ

REGULATION	REQUIRED	PROPOSED
LOT AREA (MINIMUM/PER DWELLING UNIT)	109.49 m ²	1313.81 m ²
LOT FRONTAGE (MINIMUM)	INTERIOR	10.24 m
	END	12.46 m
	CORNER	14.05 m
LOT COVERAGE (MAXIMUM)	50.55%	664.10 m ²
FRONT YARD SETBACK (MINIMUM)		4.98 m
REAR YARD SETBACK (MINIMUM)		5.95 m
INTERIOR SIDE YARD SETBACK (MINIMUM)		2.09 m
INTERIOR SIDE YARD SETBACK (MINIMUM) (COMMON WALL)		0.00 m
EXTERIOR SIDE YARD SETBACK (MINIMUM)		3.00 m
BUILDING HEIGHT (MAXIMUM)		12.00 m

* DENOTES VARIANCE REQUIRED

PARKING CALCULATIONS - RT-YY

REGULATION	REQUIRED	PROPOSED
PARKING SPACES - APARTMENTS (MINIMUM)	1.5 SPACES PER UNIT = 180 SPACES	240 SPACES (2.00 SPACES PER UNIT)
VISITOR PARKING SPACES (MINIMUM) (INCL UDED)	25% OF TOTAL = 45 SPACES	45 SPACES
TOTAL PARKING SPACES:	180 SPACES	240 SPACES

* DENOTES VARIANCE REQUIRED

PARKING CALCULATIONS - RT-ZZ

REGULATION	REQUIRED	PROPOSED
PARKING SPACES - APARTMENTS (MINIMUM)	1.5 SPACES PER UNIT = 90 SPACES (2.00 SPACES PER UNIT)	68 SPACES (2.00 SPACES PER UNIT)
VISITOR PARKING SPACES (MINIMUM) (INCL UDED)	25% OF TOTAL = 17 SPACES	17 SPACES
TOTAL PARKING SPACES:	90 SPACES	68 SPACES

* DENOTES VARIANCE REQUIRED

LEGEND

IRON BAR

PROPERTY LINE

MAN DOOR ENTRANCE / EXIT

6.1m WIDE FIRE ROUTE

FIRE HYDRANT

STOP SIGN

NO PARKING FIRE ROUTE SIGNAGE

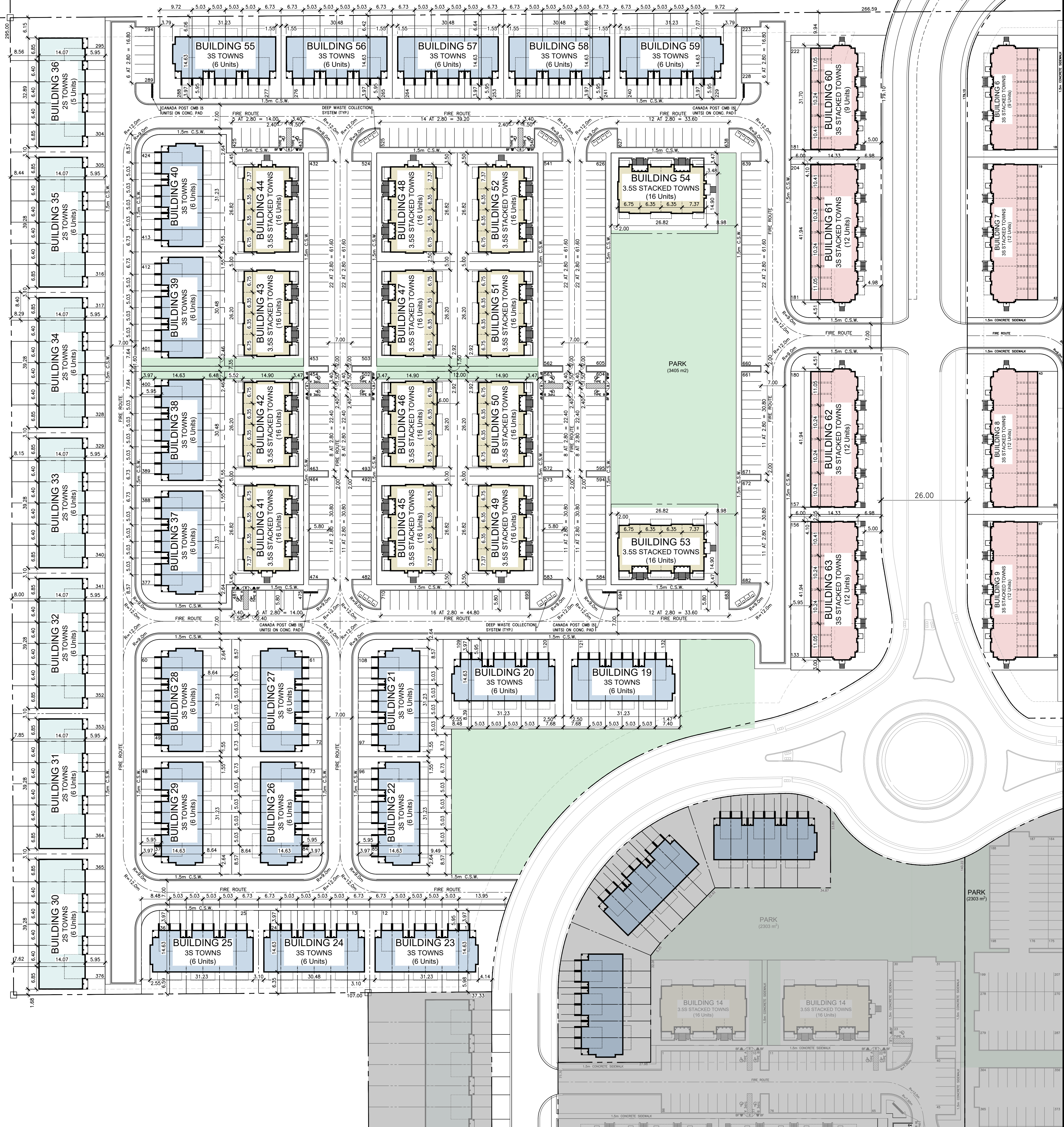
STREET LIGHT (REFER TO SITE LIGHTING PLAN)

BARRIER FREE PARKING SIGN

UNIT LEGEND

# units	# units
	120 units
	224 units
	45 units
TOTAL UNITS =	430 units

COMMUNITY TRAIL / LINEAR PARK



Project Information

PINE VALLEY HOMES
PINE VALLEY ESTATES
 9332 County Road 93, Midland ON

Set Issuance

No.	Date	Description

Sheet Information

SITE PLAN - PHASE 3

Project No. 16142
 Project Start Date: 2025-10-16
 File: 9332 County Road 93 - Site Plan.dwg
 Drawn by: MGL
 Scale: 1:600

PRELIMINARY
A1.04
 Plot Date | Time - 5/8/2026 2:13:44 PM

