



**ACC**

ARCHAEOLOGICAL  
CONSULTANTS CANADA

## Stage 1 & 2 Archaeological Assessment

9332 County Road 93, Midland, Part of Lot 107, Concession 1 West of  
Penetanguishene Road, Former Geographic Township of Tiny, County of Simcoe,  
Ontario

Original Report

Prepared for:

**Ontario Ministry of Citizenship and Multiculturalism**

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## EXECUTIVE SUMMARY

Archaeological Consultants Canada (ACC) was contracted by the Proponent to conduct a Stage 1 & 2 archaeological assessment, including background research and property survey, for a proposed residential development. The development includes townhouses, high and low/medium density apartments, associated parking lots roadways, parks and SWM areas. An archaeological assessment was conducted during the pre-approval process and was required under the *Planning Act, R.S.O 1990*. The assessed area, or the “subject property”, is located at municipal address 9332 County Road 93, Midland, Part of Lot 107, Concession 1 West of Penetanguishene Road, Former Geographic Township of Tiny, County of Simcoe, Ontario (Figure 1). The subject property measures 27.59 hectares (ha) in size. The Proponent verified the subject property limits as defined within this report and provided a plan of survey confirming the boundaries (Figure 2).

The Stage 1 & 2 assessment was conducted under Professional Archaeological License P066, held by Kristy O’Neal. Fieldwork was conducted under the direction of Zack Cousineau (Applied Research License R1335). The Ontario Ministry of Citizenship and Multiculturalism (MCM) assigned Project Information Form (PIF) number P066-0674-2025 to this project. The licensee of ACC received permission from the Proponent to access the property and to conduct all required archaeological fieldwork activities including the removal of artifacts, as necessary.

Stage 1 background research indicated that the subject property has general archaeological potential due to the following factors:

- Proximity of the subject property to an early historical transportation route, Penetanguishene Road
- There are 3 registered archaeological sites within one km of the subject property.
- The County of Simcoe’s archaeological management plan indicates that portions of the subject property have archaeological potential.

Archeological Services Inc. previously conducted a Stage 1 background research assessment on 82.3 ha area, including the current subject property. As a result, ASI recommended the entirety of the subject property to Stage 2 assessment (ASI, 2021).

The subject property measures 27.59 ha. A visual property inspection determined that 7.44 ha of the subject property has been previously disturbed by modern construction activities and has low to no archaeological potential.

20.15 ha of the subject property retained archaeological potential and was recommended for Stage 2 assessment. The subject property consisted of woodlot and was assessed by test pit survey at 5 m intervals.

One archaeological site, Location P1, registered in the OASD as BeGx-83, was documented during the Stage 1 & 2 assessment. The Indigenous site consists of two sherds of Indigenous pottery recovered from one positive test pit.



Section 2.2 of the *Standards and Guidelines for Consultant Archaeologists* identifies criteria for requiring Stage 3 assessment at sites found during Stage 2 property assessment. In this case, as Location P1, BeGx-83, is an Indigenous site found during test pit survey, Section 2.2 Standard 1a.ii and Standard 1b of the *Standards and Guidelines for Consultant Archaeologists* are applicable to this site. Standard 1.a.ii states that artifacts, groups of artifacts, or archaeological sites that are found within a 10 metre by 10 metre test pit survey area must be subject to a Stage 3 site-specific assessment if they meet the following requirements: (1) at least one diagnostic artifact from combined test pit and test unit excavations, or (2) at least five nondiagnostic artifacts from combined test pit and test unit excavations. Standard 1b details single examples of special interest, including (i) Indigenous ceramics, (ii) exotic or period specific cherts, and (iii) isolated Paleoindian or Early archaic diagnostic artifacts.

Location P1, BeGx-83, consists of two sherds of Indigenous pottery and meets the criteria of Standard 1b. Location P1, BeGx-83, is deemed to have further CHVI and require Stage 3 site specific assessment.

The following recommendation is provided for consideration by the Proponent and by the MCM:

1. Location P1, BeGx-83, consist of two Indigenous pottery sherds, that meets the criteria for requiring Stage 3 site-specific assessment listed in MCM's 2011 *Standards and Guidelines for Consultant Archaeologists*. It is evident the level of CHVI will result in the recommendation to proceed to Stage 4 excavation. As the site was discovered during test pit survey in a wooded area Stage 3 Controlled Surface Pick up is not required. Stage 3 excavations will consist of the hand-excavation of 1 m by 1 m units on a 10 m grid. Grid unit excavation should be followed by excavation of additional test units, amounting to 40% of the grid unit total, focusing on areas of interest within the site extent (such as distinct areas of higher concentrations of artifacts or adjacent to high-yield units) as per Section 3.2.2 and Table 3.1 of the *Standards and Guidelines for Consultant Archaeologists*. If any features are encountered, they will be addressed as per Section 3.2.2 Standard 6 where their planview should be recorded, be covered in geotextile fabric, and backfilled.



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## LIST OF ABBREVIATIONS

The following is a list of abbreviations and acronyms used throughout this report.

ACC	Archaeological Consultants Canada
ASI	Archaeological Services Inc.
CHVI	Cultural Heritage Value or Interest
cm	centimetre
GPS	Global Positioning System
ha	hectares
km	kilometre
m	metre
MCM	Ministry of Citizenship and Multiculturalism
OASD	Ontario Archaeological Sites Database
OHA	Ontario Heritage Act
PIF	Project Information Form
%	percent



## PROJECT PERSONNEL

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# Stage 1 & 2 Archaeological Assessment

## Pine Valley Development

9332 County Road 93, Midland, Part of Lot 107, Concession 1 West of Penetanguishene Road, Former Geographic Township of Tiny, County of Simcoe, Ontario

### 1.0 PROJECT CONTEXT

#### 1.1 Development Context

Archaeological Consultants Canada (ACC) was contracted by the Proponent to conduct a Stage 1 & 2 archaeological assessment, including background research and property survey, for a proposed residential development. The development includes townhouses, high and low/medium density apartments, associated parking lots roadways, parks and SWM areas. An archaeological assessment was conducted during the pre-approval process and was required under the *Planning Act, R.S.O 1990*. The assessed area, or the “subject property”, is located at municipal address 9332 County Road 93, Midland, Part of Lot 107, Concession 1 West of Penetanguishene Road, Former Geographic Township of Tiny, County of Simcoe, Ontario (Figure 1). The subject property measures 27.59 hectares (ha) in size. The Proponent verified the subject property limits as defined within this report and provided a plan of survey confirming the boundaries (Figure 2).

Archeological Services Inc. (ASI) previously conducted a Stage 1 background research assessment on 82.3 ha area, including the current subject property. As a result, ASI recommended the entirety of the subject property to Stage 2 assessment (ASI, 2021).

The objective of a Stage 1 background study is to provide information about the subject property’s geography, history, previous archaeological fieldwork, and current land conditions. A Stage 1 study evaluates the subject property’s archaeological potential in order to recommend appropriate strategies for the Stage 2 survey.

The objective of a Stage 2 property assessment is to document all archaeological resources present on the property and to make a determination about whether these resources, if present, have Cultural Heritage Value or Interest (CHVI). Archaeological resources consist of artifacts (Indigenous stone tools, pottery and subsistence remains as well as Euro-Canadian objects), subsurface settlement patterns and cultural features (post moulds, trash pits, privies, and wells), and sites (temporary camps and special purpose activity areas, plus more permanent settlements such as villages, homesteads, grist mills and industrial structures). If any archaeological resources are present that exhibit CHVI, a Stage 2 survey will determine whether these resources require further assessment and, if necessary, recommend appropriate Stage 3 strategies for identified archaeological sites.

The Stage 1 & 2 assessment was conducted under Professional Archaeological License P066, held by Kristy O’Neal. Fieldwork was conducted under the direction of Zack Cousineau (Applied Research License R1335). The Ontario Ministry of Citizenship and Multiculturalism (MCM) assigned Project Information Form (PIF) number P066-0674-2025 to this project. The licensee of ACC received permission from the Proponent to access the property and to conduct all required archaeological fieldwork activities including the removal of artifacts, as necessary.

All fieldwork and reporting were completed using MCM’s 2011 *Standards and Guidelines for Consultant Archaeologists*. This report documents the research, the field methods and results, and the conclusions and recommendations based on the Stage 1 & 2 archaeological assessment. All documents and records related to this project will be curated at the offices of ACC, in accordance with subsection 66(1) of the *Ontario Heritage Act* (OHA).

## 1.2 Historical Context

### 1.2.1 Background Research

Previous Stage 1 background research was conducted by ASI (ASI, 2021) to determine the potential for finding and identifying archaeological resources including sites within the current subject property and to determine the necessity of conducting a Stage 2 survey. This is done by reviewing geographic, archaeological, and historical data for the property and the surrounding area. The background research was conducted to:

- amass all the readily available information on any previous archaeological surveys in the area.
- determine the locations of any registered and unregistered sites within and around the subject property.
- develop a historical framework for assigning levels of potential significance to any new sites discovered during fieldwork.

The following sections summarize the findings from ASI’s Stage 1 report (ASI, 2021). ACC has updated the previous findings with new information to conform to the 2011 *Standards and Guidelines for Consultants Archaeologists* (MCM, 2011).

### 1.2.2 A Cultural Chronology for Southern Ontario

Over their thousands of years of occupation in the general region, Indigenous peoples have left behind, to a greater or lesser degree, physical evidence of their lifeway activities and settlements at many locations. Based upon a published synthesis of Indigenous cultural occupations (Wright, 1968). Table 1 is a general outline of the cultural history of southern Ontario that is applicable to the subject property. Ellis and Ferris (1990) provide greater detail of the distinctive characteristics of each time period and cultural group. This general outline uses longstanding labels that are used to describe the archaeological record in North America. Archaeological terms like Paleoindian, Archaic, and Woodland, are used here as a way to divide time and should be treated as such.

It is likely that Ontario was occupied soon after the retreat of the Ice Age glaciers. The earliest known human occupation in the area was during the Paleoindian period (between 12,000 and 9,500 years ago) wherein small groups of nomadic peoples hunted big game such as caribou in a cool sub-arctic climate. Sites are typically found near glacial features such as the shorelines of glacial lakes or kettle ponds which would have allowed access to the low-lying environments that were favoured by caribou and other wildlife. These people were few and their small, temporary campsites are relatively rare. Paleoindian sites are recognized by the presence of distinctive artifacts such as fluted projectile points, beaked scrapers, and graves and by the preference for light colored chert, such as Collingwood chert. The Paleoindian Period is divided into two sub-periods, Early Paleoindian, and Late Paleoindian.

Table 1: General Cultural Chronology for Southern Ontario

PERIOD	SUBDIVISION I	SUBDIVISION II	YEARS BEFORE PRESENT	COMMENTS
PALEOINDIAN	Early Paleoindian	Fluted Point Horizon	12,000-10,500	big game hunters
	Late Paleoindian	Holcombe & Hi-Lo Horizons	10,500-9,500	small nomadic groups
ARCHAIC	Early Archaic	Side Notched Horizon	10,000-9,700	nomadic hunters and gatherers
		Corner-Notched Horizon	9,700-8,900	
		Bifurcate Horizon	8,900-8,000	
	Middle Archaic	Middle Archaic I/Stemmed Horizon	8,000-5,500	territorial settlements
		Middle Archaic II	5,500-4,500	polished ground stone tools
	Late Archaic	Narrow Point Horizon	4,500-3,500	
		Broad Point Horizon	4,000-3,500	
		Small Point Horizon (including Haldimand and Glacial Kame Complexes)	3,500-2,800	burial ceremonialism
	WOODLAND	Early Woodland	Meadowood Complex	2,900-2,400
Middlesex Complex			2,500-2,000	
Middle Woodland		SW Ontario: Saugeen	2,300-1,500	long distance trade networks
		Western Basin: Couture	2,300-1,500	
Transitional Woodland		SW Ontario:		
		Princess Point	1,500/1,400-1,200	incipient agriculture
		Western Basin:		
Late Woodland: Ontario Iroquois Tradition		Riviere au Vase	1500/1400-1200/1100	
		Early: Glen Meyer	1200/100-750/700	transition to village life
		Middle I: Uren	720/700-710/670	large villages with palisades
		Middle II: Middleport	710/670-670/600	wide distribution of ceramic styles
Late Woodland: Western Basin Tradition		Late: Neutral	600-450	
		Younge Phase	1200/1100-800	
	Springwells Phase	800-600		
HISTORIC	European Contact	Wolf Phase	600-450	
		Historic Neutral	450-350	tribal warfare
		Initial Contact	380-300	tribal displacement



PERIOD	SUBDIVISION I	SUBDIVISION II	YEARS BEFORE PRESENT	COMMENTS
		European Settlement	200 >	European settlement
		First Nations Resettlement	200 >	

(Compiled from Adams, 1994, Ellis *et al.*, 1990, Wright, 1968)

During the Archaic period (*circa* 10,000 to 2,800 years ago) people were still primarily nomadic hunters, but they adapted to a more temperate climate. Groups were dispersed during winter months and converged around watercourses from the spring to fall in large fishing campsites. The Archaic period is characterized by the appearance of ground stone tools, notched, or stemmed projectile points. The Archaic Period is divided into three sub-periods, Early, Middle, and Late Archaic. During the Archaic Period, groups began to establish territorial settlements and introduce burial ceremonialism. There is a marked increase in the number and size of sites, especially during the Late Archaic period.

The Woodland period is distinguished by the introduction of pottery vessels for storage and cooking. Sites of the Woodland period (*circa* 3,000 to 400 years ago) are usually the most numerous because the population levels in southern Ontario had significantly increased, especially along the shores of Lakes Erie and Ontario. The Woodland Period is also marked by the establishment of complex long distance trading networks. The Woodland Period is divided into three sub-periods, Early, Middle and Late Woodland. During the Late Woodland Period, there was increasing sedentarism and the establishment of horticulture, a reliance on tribal warfare, and the introduction of semi-permanent villages with large protective palisades. The Late Woodland period also envelops the emergence of Iroquoian tribes and confederacies.

The historic period (from A.D. 1650 to 1900) begins with the arrival of Euro-Canadian groups. Sites of this period document European exploration, trade, and the displacement and devastation of native groups caused by warfare and infectious disease. The most common sites of this period include Euro-Canadian homesteads, industries, churches, schools, and cemeteries.

The late 17<sup>th</sup> and early 18<sup>th</sup> centuries saw the growth and spread of the fur trade, with the establishment and maintenance of trading posts along the Great Lakes. In 1754, hostilities over trade and the territorial ambitions of the French and the British led to the Seven Years' War, which ended when the French surrendered in 1760 (Smith, 1987:22). In addition to cementing British control over the Province of Quebec, the British victory over the French also proved pivotal in catalyzing the Euro-Canadian settlement process.

During pre-contact and early contact times, the vicinity of the subject property would have contained a mixture of deciduous trees, coniferous trees, and open areas. In the early 19<sup>th</sup> century, Euro-Canadian settlers arrived via easily accessible colonization routes and began to clear the forests for agricultural purposes. In the 19<sup>th</sup> and early 20<sup>th</sup> centuries, the subject property and surrounding land were primarily used for agricultural purposes. Mixed farming was common, with wheat crops and beef cattle dominating the landscape (Chapman and Putnam, 1984:177).



The subject property was historically located on Part of Lot 107, Concession 1 West of Penetanguishene Road, in the Geographic Township of Tiny, County of Simcoe. In 1791, the provinces of Lower Canada and Upper Canada were created from the former province of Quebec by a British parliamentary act. Colonel John Graves Simcoe was appointed as the Lieutenant Governor of Upper Canada and was tasked with governing and directing its settlement, as well as establishing a constitutional government based on Britain's model (Coyne et al, 1895:33).

Simcoe County, called "the cradle of Ontario History", was named after Colonel John Graves Simcoe, the first Lieutenant Governor of Upper Canada (Cranston, 1979). Originally it was part of the Home District, it attained county status in 1850, with Barrie serving as the county seat.

The area around what is now Simcoe County was inhabited by the Huron. Prior to 1600, European goods reached the Hurons through trade networks with the Algonkians. Fur exchange was an early lucrative business in the region.

In 1610, Etienne Brûlé, a Frenchman and the first European in the area, arrived to study the Huron language and customs. This began a period of construction of French and Jesuit missions, including Penetanguishene, Sainte Marie, and St. Ignace, in an attempt to convert the Huron (Belden, 1881:3-4). This was also a turbulent time involving warfare between the Huron and the Iroquois, which ended in the defeated surviving Huron seeking refuge on Christian Island. The island was abandoned in June 1650, and the area remained wilderness for many years (Mika & Mika, 1983). The Algonkians gradually penetrated the area, using trails left behind by the Huron.

Traders in search of beaver fur became some of the early settlers. In 1793, Lieutenant-Governor Simcoe recommended the establishment of a naval base in Penetanguishene Bay (Belden, 1881:4). Land grants in the area were made to veterans and retired officers. New roads were constructed, and existing roads were improved to encourage settlement. Some of the early industries were shipping, shipbuilding, and lumbering.

Tiny Township was first surveyed in 1822, named by Elizabeth Simcoe, the wife of Lieutenant Governor John Graves Simcoe, after one of her favorite lapdogs (Mika and Mika, 1983). The settlement of Lafontaine began with the migration of French Canadians from Drummond Island after it was ceded to America in 1828. The Wye River provided waterpower for the early mills, while the beaches along Georgian Bay made the township a favourite for summer vacations. The townships of Tay and Tine were joined for Municipal purposes until 1969 (Mika and Mika, 1983).

The nearest historic community was the village of Midland, located 2.74 kilometres (km) northeast of the subject property. The townsite was originally surveyed in 1872, under the name Mundy's Bay after the original settlers, however the area was also referred to as Midland because of its location between Penetanguishene and Victoria Harbour (Carter, 1984). The same year the railroad was completed, and a post office was established under the name Midland. The area was incorporated as a village on 1878, later in 1890 Midland was incorporated as a town.

Historical records and mapping were examined for evidence of early Euro-Canadian occupation within and near the subject property in the mid- to late-19<sup>th</sup> century. Hogg's 1871 *Map of the County of Simcoe, Canada West* lists H. Thompson as the owner of Lot 107 (Figure 3). Henry H. Thompson is listed as a 44-year-old merchant living with his wife Elizabeth, 35 and their six children (Library and Archives Canada, 2025) No structures are depicted within the subject property. Penetanguishene Road is located 593 metres (m) east of the subject property.

Belden & Co.'s 1881 map of Tiny Township in the *Illustrated Historical Atlas of Simcoe County* has no owners listed for Lot 107 (Figure 4). No structures are depicted within the subject property. County Road 93 is now depicted and is located 255 m east of the subject property.

It should be noted that while no structures are illustrated within the subject property on the historical atlas maps, it does not necessarily mean that one or more structures were not present at that time, earlier or later. Not all features of interest were mapped systematically on the Ontario series of historical maps and atlases, given that they were financed by subscription, and subscribers were given preference regarding the level of detail provided on the maps (Caston, 1977:100). Given that the subject property is located within 300 m of a historic concession road there is the potential for 19<sup>th</sup> century buildings to be present, depending on the level of disturbance.

### 1.3 Archaeological Context

#### 1.3.1 Natural Environment

The subject property is located within the Simcoe Uplands physiographic region (Chapman and Putnam, 1984:113). This area is made up of series of broad, rolling, till plains separated by flat, steep-sided valleys. These are surrounded by shorelines that indicate they were islands in Lake Algonquin (Chapman and Putnam, 1984:182).

The *Soils of Simcoe County* (Hoffman et al, 1962) indicates that there are two dominant surface soil types within the subject property (Figure 5). The majority of the subject property is made up of Vasey sandy loam. This soil is a light grey calcerous and non calcerous sandy loam that is characterized as moderately to very stoney, with smooth moderately to steeping sloping topography, and good drainage. The eastern strip of the subject property is composed of Wyevale gravelly sandy loam. This soil is a grey non calcerous grey outwash, that is characterized as moderately stony with smooth to gently sloping topography and good drainage.

Water has been identified as the major determinant of site selection and the presence of potable water is the single most important resource necessary for any extended human occupation or settlement. Primary water sources include, among others, lakes, rivers, creeks, and streams. Secondary water sources include intermittent streams, creeks, springs, marshes, and swamps. Past water sources, such as raised beach ridges, relic water channels, and glacial shorelines are also considered to have archaeological potential. Swamps and marshes are also important as resource extraction areas, and any resource areas are considered to have archaeological potential. The nearest water source is Little Lake approximately 1.44 km southeast of the subject property.

#### 1.3.2 Current Land Use

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Figure 6 provides the current land use of the subject property. The subject property is currently located within the town of Midland and consist of wooded area. A portion of the property has been recently logged and the topsoil stripped. Wooded areas are located north, west and south, a ski hill and associated trail are southwest, while commercial plaza is located east of the subject property.

Fieldwork for the project was conducted on October 24, 27, and 28 2025.

### 1.3.3 Previous Archaeological Investigations

#### 1.3.3.1 Registered Archaeological Sites

Previously registered archaeological sites can be used to indicate archaeological potential. To determine if any previous assessments have yielded archaeological sites, either within or surrounding the current subject property, two main sources were consulted. These include the *Ontario Archaeological Sites Database (OASD)* and the *Public Register of Archaeological Reports*, both of which are maintained by MCM.

The OASD contains archaeological sites registered within the Borden system (Borden, 1952). The Borden system divides Canada into 13 km by 18.5 km blocks based on longitude and latitude. Each Borden block is designated with a four-letter label and sites identified within the block are numbered sequentially as they are registered. The subject property is located within the *BeGx* Borden block.

According to the OASD, no archaeological sites have been registered within the subject property, however, 3 sites have been registered within one km of the subject property (MCM, 2025a). The nearest of these sites is over 300 m from the current subject property. One site is of Indigenous cultural affiliation and is a village.

Table 2 lists the sites within 1 km along with the current CHVI for each site. CHVI is a term used by MCM and consultant archaeologists to describe archaeological resources that meet one or more criteria that recommend further fieldwork in MCM's *Standards and Guidelines for Consultant Archaeologists*. Under the OHA and its regulations, archaeological resources that have been determined to possess CHVI are protected as archaeological sites under Section 48 of the act. Information in Table 2 is provided by MCM through the OASD (MCM, 2025a).

Table 2: Registered Archaeological Sites within 1 km of the Subject Property

BORDEN.#	NAME	TIME PERIOD	CULTURAL AFFILIATION	SITE TYPE	STATUS
BeGx-62	Sundowner	Unknown	Unknown	Unknown	Unknown
BeGx-61	-	Unknown	Unknown	Unknown	Unknown
BeGx-34	Fallis	Woodland, Late	Aboriginal, Lalonde	village	Unknown

Information concerning specific site locations is protected by provincial policy and is not fully subject to the *Freedom of Information Act*. The release of such information in the past has led to looting or various forms of illegally conducted site destruction. Confidentiality extends to all

media capable of conveying location, including maps, drawings, or textual descriptions of a site location. MCM will provide information concerning site location to the party or an agent of the party holding title to a property, or to a licensed archaeologist with relevant cultural resource management interests.

#### 1.3.3.2 Previous Archaeological Reports

A review of archaeological reports within the *Public Register of Archaeological Reports* indicated that is one report detailing previous archaeological fieldwork within the subject property have been entered into MCM's register at the time this report was written (MCM, 2026b). There are no additional reports detailing previous fieldwork within 50 m of the subject property within the register. Figure 7 shows the location of these assessments in relation to the current subject property.

Reports were searched based on registered site information, historic lots and concessions, and nearby streets. To the best of ACC's knowledge, there are no other reports concerning archaeological work conducted within 50 m of the subject property; however, it should be noted that the MCM does not maintain a database of all properties that have had past archaeological investigations and searches of the MCM's public register do not always result in a complete listing of all archaeological work conducted in a given area.

***Stage 1 Archaeological Assessment of the County Road 93 Secondary Plan Study, Part of Lots 106-109, Concession 1 West of Penetanguishene Road, Geographic Township of Tiny, Town of Midland, Simcoe County. Archaeological Services Inc., report dated May 7, 2021. PIF P372-0078-2020.***

ASI conducted a Stage 1 archaeological assessment of 82.3 ha property, including the current subject property. The assessment concluded that except for the previously assessed lands, the property required Stage 2 assessment before any future development. One previously registered site located within the assessed BeGx-62, the Sundowner Site was recommended for Stage 4 mitigation, if the area fell within the proposed development impact (ASI, 2021).

#### 1.3.4 Historical Plaques and Monuments

MCM's *Standards and Guidelines for Consultant Archaeologists* (MCM, 2011:17) stipulates that areas of early Euro-Canadian settlement (including places of early military pioneer settlement, pioneer homesteads, isolated cabins, farmstead complexes, early wharf or dock complexes, pioneer churches, and early cemeteries) are considered to have archaeological potential. There may be commemorative markers of their history, such as local, provincial, or federal monuments, plaques, cairns, or heritage parks. Early historical transportation routes (trails, passes, roads, railways, portage routes), properties listed on a municipal register or designated under the OHA or a federal, provincial, or municipal historic landmark or site, and properties that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations are also considered to have archaeological potential.

There are no plaques or commemorative markers within or near the subject property (Ontario Provincial Plaques, 2025).

### 1.3.5 Archaeological Master Plans

Simcoe County has an official Archaeological Management Plan that sets out directions and polices that set out procedures for the county and local municipalities to identify where archaeological assessments are required. The document, *Archaeological Management Plan for the County of Simcoe*, provides a comprehensive approach to the conservation of archaeological resources (ASI, 2019). The report presents archaeological potential models for both Indigenous and historical sites. The report also showcases threats to archaeological resources and the legislative framework at the provincial and municipal levels. The report outlines contingency plans for unexpected and emergency archaeological finds, ownerships, and the curation of artifacts.

The document also includes Archaeological Potential Model mapping for Simcoe County. The model has six geo-referenced layers including, Indigenous archaeological site potential layer, historical archaeological site potential layer, composite archaeological potential layer, previously assessed lands layer, composite archaeological potential with integrity layer, and final archaeological potential planning layer (County of Simcoe, 2024). A review of the potential model indicates that the majority of the current subject property has archaeological potential (Figure 8).

### 1.3.6 Cemeteries

A search of the subject property and surrounding area determined that there were no cemeteries located within or near the subject property. The Bereavement Authority of Ontario's Public Register does not list any cemeteries within the subject property (Bereavement Authority of Ontario, 2025).



## 2.0 FIELD METHODS

The subject property measures 27.59 ha. The Stage 1 & 2 assessment were conducted concurrently between October 24 and 28, 2025, with advance permission to enter the subject property obtained from the Proponent. Weather conditions during the assessment were excellent. Table 3 provides detailed weather conditions for each day of the assessment.

Table 3: Daily Fieldwork Conditions

DATE	WEATHER CONDITIONS	FIELD DIRECTOR
October 24, 2025	9°C, partly cloudy	Zack Cousineau, R1335
October 27, 2025	10°C, overcast	Zack Cousineau, R1335
October 28, 2025	12°C, partly cloudy	Zack Cousineau, R1335

The Stage 1 assessment of the subject property began with an on-site property inspection to gain first-hand knowledge of the geography, topography, and current condition of the property. The entirety of the subject property was accessible and was inspected. Appropriate photographic documentation was taken during the visual inspection. The Stage 1 property inspection took place when the ground was fully visible, and under conditions that allowed for full viewing of archaeological potential. Coverage of the property was sufficient to identify the presence or absence of features of archaeological potential, meeting the requirements of Section 1.2 Standard 1 of the *Standards and Guidelines for Consultant Archaeologists*.

Areas of low to no archaeological potential include lands that have been previously disturbed, lands that have steeply sloping topography, and lands that are low-lying and permanently wet. 7.44 ha, 27% of the subject property, has been previously disturbed by intensive and extensive modern soil alterations, including the stripping of topsoil during logging activities. There are no low-lying and permanently wet areas or areas of steeply sloping topography.

The remainder of the subject property, totaling 20.15 ha, 73%, was determined to retain archaeological potential and require Stage 2 archaeological assessment. The subject property consisted of wood lot. As these lands could not be ploughed, Stage 2 archaeological assessment was conducted by test pit survey at 5 m intervals in accordance with Section 2.1.2 of the *Standards and Guidelines for Consultant Archaeologists*. Each test pit was dug by hand and was 30 centimetres (cm) in diameter and was dug to at least 5 cm into the subsoil. Test pits were examined for stratigraphy, cultural features, or evidence of fill. Test pits were dug to within one m of all disturbances and other areas of low archaeological potential. All soil was screened through 6-millimetre mesh to maximize the potential for artifact recovery. Appropriate photographic documentation was taken, and all test pits were backfilled upon completion.

During the test pit survey one artifact bearing or “positive” test pit was encountered. This test pit contained two sherds of Indigenous pottery. Test pit was continued on a 5 m survey grid to determine if there were further positive test pits. As there were no additional positive test pits encountered during the grid survey. To gain a better understanding of the site distribution intensified survey was completed around the single positive test pit, which was designated as TP 1. Eight additional test pits were placed at a 2.5 m interval in each cardinal direction around the



positive test pit. The cardinal test pits were all sterile. No test unit was excavated as the artifacts encountered were sufficient to meet the criteria to proceed to Stage 3 site-specific assessment.

All artifacts found during the Stage 1 & 2 assessment were retained and recorded by their corresponding test pit designation and stratigraphic layer. The site was identified and recorded as Location P1 and was registered in the OASD as BeGx-83.

The location coordinates of the site data were recorded using Trimble GeoExplorer Global Positioning System (GPS) with an accuracy of better than 1 m. GPS readings of the location of each positive test pit and the test unit were taken. The data was also tied to fixed reference landmarks. GPS information is provided in the Supplementary Documentation accompanying this report.

There were no weather, ground, or lighting conditions detrimental to the recovery of artifacts. As such, it is confirmed that the Stage 2 assessment met Section 2.1 Standard 3 of the *Standards and Guidelines for Consultant Archaeologists* regarding weather and lighting.

The entirety of the subject property was assessed. The results of the Stage 1 & 2 assessment are shown in Figures 9 and 10. Images of the assessment are provided in Section 9.0.



## 3.0 RECORD OF FINDS

### 3.1 Soils

Test pits contained approximately 3 to 20 cm of medium brown sandy loam to gravelly sandy loam topsoil above orange sandy loam subsoil.

### 3.2 Archaeological Resources

One archaeological site was identified during the Stage 2 property assessment. The site was labelled and recorded as Location P1, registered in the OASD as BeGx-83. The site consists of two fragmented pottery sherds in a single test pit. The site was identified in a wooded area with generally level topography in the western portion of the subject property. The location of Location P1, BeGx-83, in relation to the subject property is shown in the supplementary documentation accompanying this report.

All artifacts found during the Stage 1 & 2 assessment were collected, recorded, and catalogued according to their provenience and stratigraphic layer. All artifacts were analysed according to the standards for analysis presented in Table 6.1 (Aboriginal Artifacts) of the Standards and Guidelines for Consultant Archaeologists (MCM, 2011). A full catalogue of all recovered artifacts is presented in Table 4. Images of the recovered artifacts are shown in Section 9.0. The artifacts are stored within one standard sized bankers' box and labelled with ACC's project number, PIF number, site location, and site registration number clearly visible. A full catalogue of the recovered artifacts is presented in Table 4.

Table 4: Artifact Catalogue, Stage 2 Assessment

WAYPOINT	CULTURAL AFFILITATION	COUNT	TYPE	DESCRIPTION
TP 1	Indigenous	2	pottery	fragmentary sherd

The two sherds of pottery recovered are preserved tiny fragments. They have no visible decoration or heat evidence.

### 3.3 Documentary Record

All fieldwork-related activities were documented and kept, including field notes and observations and detailed maps. Appropriate photographic records were kept of the assessment, and all image descriptions were recorded in a photo log.

A detailed list of field records is presented in Table 5. All digital items have been duplicated, and all paper items have been scanned and stored as digital documents. All items are housed in the corporate offices of ACC.

Under Section 6 of Regulation 881 of the OHA, ACC will keep in safekeeping all objects of archaeological significance that are found under the authority of the license and all field records that are made in the course of the work authorized by the license, except where the objects and records are donated to His Majesty the King in right of Ontario or are directed to be deposited in a public institution under subsection 66 (1) of the Act.



Table 5: Inventory of Documentary and Material Records

PROJECT INFORMATION		
ACC project number	391-12-25	
Licensee	Kristy O’Neal	
MCM PIF numbers	P066-0674-2025	
DOCUMENT/MATERIAL	NUMBER	DESCRIPTION
field notes & photo logs	4	pages (paper, with digital copies)
artifacts	2	stored in one standard sized bankers’ box
maps	1	aerial imagery of subject property
	1	Concept Plan
	1	sketch of Location P1
photographs	15	digital colour photographs



## 4.0 ANALYSIS AND CONCLUSIONS

### 4.1 Assessing Potential for Archaeological Resources

Archaeological potential is defined as the likelihood of finding archaeological sites within a subject area. For planning purposes, determining archaeological potential provides a preliminary indication that significant sites might be found within the subject area, and consequently, that it may be necessary to allocate time and resources for archaeological survey and mitigation.

The framework for assigning levels of potential archaeological significance is drawn from provincial guidelines found in the *Standards and Guidelines for Consultant Archaeologists* (MCM, 2011: Sections 1.3.1 and 1.3.2). The following are features or characteristics that can indicate archaeological potential:

- previously identified archaeological sites
- water sources (It is important to distinguish types of water and shoreline, and to distinguish natural from artificial water sources, as these features affect site locations and types to varying degrees.)
  - primary water sources (e.g., lakes, rivers, streams, creeks)
  - secondary water sources (e.g., intermittent streams and creeks, springs, marshes, swamps)
  - features indicating past water sources (e.g., glacial lake shorelines indicated by the presence of raised sand or gravel beach ridges, relic river or stream channels indicated by clear dip or swale in the topography, shorelines of drained lakes or marshes, cobble beaches)
  - accessible or inaccessible shoreline (e.g., high bluffs, swamp or marsh fields by the edge of a lake, sandbars stretching into marsh)
- elevated topography (e.g., eskers, drumlins, large knolls, plateaus)
- pockets of well-drained sandy soil, especially near areas of heavy soil or rocky ground
- distinctive land formation that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases. There may be physical indicators of their use, such as burials, structures, offerings, rock paintings or carvings.
- resource areas, including:
  - food or medicinal plants (e.g., migratory routes, spawning areas, prairie)
  - scarce raw materials (e.g., quartz, copper, ochre or outcrops of chert)
  - early Euro-Canadian industry (e.g., fur trade, logging, prospecting, mining)



- areas of early Euro-Canadian settlement. These include places of early military or pioneer settlement (e.g., pioneer homesteads, isolated cabins, farmstead complexes), early wharf or dock complexes, pioneer churches and cemeteries. There may be commemorative markers of their history, such as local provincial, or federal monuments or heritage parks
- early historical transportation routes (e.g., trails, passes, roads, railways, portages)
- property listed on a municipal register or designated under the OHA or that is in a federal, provincial, or municipal historic landmark site
- property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations

Archaeological potential can be determined not to be present for either the entire property or parts of it when the area under consideration has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. This is commonly referred to as “disturbed” or “disturbance” and may include:

- quarrying
- major landscaping involving grading below topsoil
- building footprints
- sewage and infrastructure development
- activities such as agricultural cultivation, gardening, minor grading, and landscaping do not necessarily affect archaeological potential.

## 4.2 Analysis and Discussion

Section 1.3.1 of the *Standards and Guidelines for Consultant Archaeologists* (MCM, 2011) lists criteria indicative of archaeological potential. MCM stipulates the following requirements for Stage 2 property survey based on archaeological potential.

- No areas within 300 m of a previously identified site, water sources, areas of early Euro-Canadian settlement, or locations identified through local knowledge, or informants can be recommended for exemption from further assessment.
- No areas within 100 m of early transportation routes can be recommended for exemption from further assessment.
- No areas within the property containing elevated topography, pockets of well-drained sandy soil, distinctive land formations, or resource areas can be recommended for exemption from further assessment.

Stage 1 background research indicated that the subject property has general archaeological potential due to the following factors:



- The subject property is largely comprised of well-drained land that is suitable for human habitation.
- Proximity of the subject property to an early historical transportation route, Penetanguishene Road
- There are 3 registered archaeological sites within one km of the subject property.
- The County of Simcoe's archaeological management plan indicates that portions of the subject property have archaeological potential.

Given the above criteria, background archival research indicated that the subject property exhibited general archaeological potential for the discovery of both pre/post-contact Indigenous and Euro-Canadian archaeological resources therefore, a Stage 2 archaeological assessment was required.

According to Section 1.4 Standard 1e, of the *Standards and Guidelines for Consultant Archaeologists* (MCM, 2011) no areas within a property containing locations listed or designated by a municipality can be recommended for exemption from further assessment unless the area can be documented as disturbed. The *Municipal Heritage Register* was consulted and there were no areas within or near the subject property that were Listed or Designated under the *Ontario Heritage Act*.

A previous Stage 1 assessment has been conducted by ASI in 2021 on 82.30 ha property including the current subject property. ASI recommended the entirety of the subject property to Stage 2 assessment (ASI, 2021).

The subject property measures 27.59 ha. A visual property inspection determined that 7.44 ha of the subject property has been previously disturbed by modern construction activities and has low to no archaeological potential.

20.15 ha of the subject property retained archaeological potential and was recommended for Stage 2 assessment. The subject property consisted of woodlot and was assessed by test pit survey at 5 m intervals.

One archaeological site, Location P1, registered in the OASD as BeGx-73, was documented during the Stage 1 & 2 assessment. The Indigenous site consists of two Indigenous pottery sherds recovered from one positive test pit.

Section 2.2 of the *Standards and Guidelines for Consultant Archaeologists* identifies criteria for requiring Stage 3 assessment at sites found during Stage 2 property assessment. In this case, as Location P1, BeGx-73, is an Indigenous site found during test pit survey, Section 2.2 Standard 1a.ii and Standard 1b of the *Standards and Guidelines for Consultant Archaeologists* are applicable to this site. Standard 1.a.ii states that artifacts, groups of artifacts, or archaeological sites that are found within a 10 metre by 10 metre test pit survey area must be subject to a Stage 3 site-specific assessment if they meet the following requirements: (1) at least one diagnostic artifact from combined test pit and test unit excavations, or (2) at least five nondiagnostic



artifacts from combined test pit and test unit excavations. Standard 1b details single examples of special interest, including (i) Indigenous ceramics, (ii) exotic or period specific cherts, and (iii) isolated Paleoindian or Early archaic diagnostic artifacts.

Location P1, BeGx-73, consists of two Indigenous pottery sherds and meets the criteria of Standard 1bi. Location P1, BeGx-73, is deemed to have further CHVI and require Stage 3 site specific assessment.



## 5.0 RECOMMENDATIONS

Subject to acceptance of the results and approval of the recommendations, MCM is requested to deem this report compliant with ministry requirements for archaeological fieldwork and reporting and to issue a letter accepting this report into the *Ontario Public Register of Archaeological Reports*, as provided for in Section 65.1 of the OHA.

The following recommendation is provided for consideration by the Proponent and by the MCM:

1. Location P1, BeGx-83, consist of two Indigenous pottery sherds, that meets the criteria for requiring Stage 3 site-specific assessment listed in MCM's 2011 *Standards and Guidelines for Consultant Archaeologists*. It is evident the level of CHVI will result in the recommendation to proceed to Stage 4 excavation. As the site was discovered during test pit survey in a wooded area Stage 3 Controlled Surface Pick up is not required. Stage 3 excavations will consist of the hand-excavation of 1 m by 1 m units on a 10 m grid. Grid unit excavation should be followed by excavation of additional test units, amounting to 40% of the grid unit total, focusing on areas of interest within the site extent (such as distinct areas of higher concentrations of artifacts or adjacent to high-yield units) as per Section 3.2.2 and Table 3.1 of the *Standards and Guidelines for Consultant Archaeologists*. If any features are encountered, they will be addressed as per Section 3.2.2 Standard 6 where their planview should be recorded, be covered in geotextile fabric, and backfilled.



## 6.0 ADVICE ON COMPLIANCE WITH LEGISLATION

The following advice on compliance with current legislation is provided for consideration:

- a. This report is submitted to the Minister of Citizenship and Multiculturalism as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c O.18. The report is reviewed to ensure that it complies with the standards and guidelines that are issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Citizenship and Multiculturalism, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.
- b. It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such a time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the *Ontario Heritage Act*.
- c. Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with Section 48 (1) of the *Ontario Heritage Act*.
- d. The *Funeral, Burial and Cremation Services Act*, 2002, S.O. 2002, c.33 (when proclaimed in force) requires that any person discovering human remains must notify the police or coroner and the Registrar, Burials Unit, at the Ministry of Public and Business Service Delivery and Procurement.
- e. Archaeological sites recommended for further archaeological fieldwork or protection remain subject to Section 48(1) of the *Ontario Heritage Act* and may not be altered, or have artifacts removed from them, except by a person holding an archaeological license.

## 7.0 CLOSURE

This report was prepared for the exclusive use of the Proponent, unless otherwise expressly stated in the report or contract. This report documents work that was performed in accordance with the accepted professional standards at the time and location in which the services were provided.

The report is based solely on data and information collected during the archaeological assessment as described in this report. All information received from the Proponent or third parties in the preparation of this report has been assumed by ACC to be factual and accurate. ACC assumes no responsibility for any deficiency, misstatement, or inaccuracy in information received from others. ACC disclaims any obligation to update this report for events or information that becomes available to ACC after the assessment has been completed.

Conclusions made within this report consist of ACC's professional opinion as of the time of the writing of this report and are based solely on the scope and extent of work described in the report, the limited data available, and the results of the work. The conclusions are based on the conditions encountered by ACC at the time the work was performed. Due to the nature of archaeological assessment, which consists of systematic sampling, it is possible that unforeseen and undiscovered archaeological resources may be present within the assessed area. ACC does not warrant against undiscovered environmental liabilities nor that the sampling results are indicative of the condition of the entire property. No other representations, warranties, or guarantees are made concerning the accuracy or completeness of the data or conclusions contained within this report, including no assurance that this work has uncovered all potential archaeological resources associated with the identified property.

Any use of this report by any third party is prohibited. This report is not to be given over to any third party, for any purpose whatsoever, without the written permission of ACC, which shall not be unreasonably withheld. Any use which a third party makes of this report, in whole or in part, or any reliance on or decisions to be made based on any information and conclusions in the report, are the responsibility of the third party. ACC assumes no responsibility for losses, damages, liabilities or claims of any kind whatsoever, howsoever arising, from third party use of this report.

ACC makes no other representations whatsoever, including those concerning the legal significance of the report's findings, or as to other legal matters touched on in this report, including, but not limited to, ownership of any property, or the application of any law to the facts set forth herein.

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## 9.0 IMAGES





Image 1: Stripped area, facing west



Image 2: Stripped area, facing northwest



Image 3: Stripped area, facing northeast

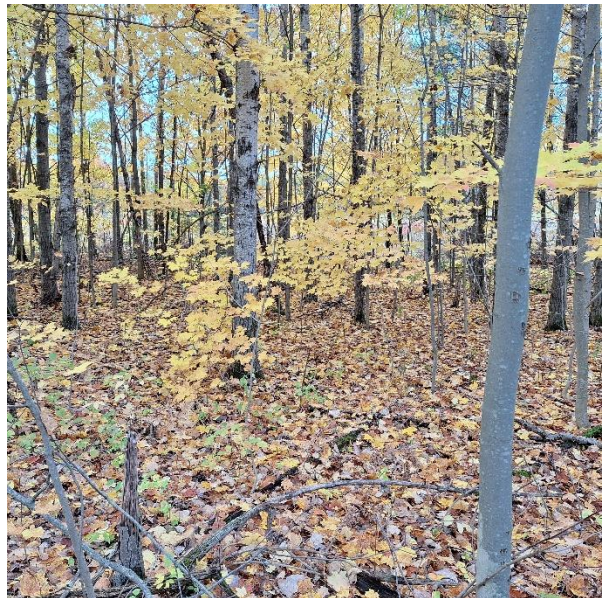


Image 4: Subject property, facing north





Image 5: Subject property, facing southwest



Image 6: Previous disturbance, facing northwest



Image 7: Subject property facing northeast



Image 8: Subject property, facing north



Image 9: Trail within the subject property, facing northeast



Image 10: Subject property, facing southeast



Image 11: Typical test pit.



Image 12: Typical test pit.





Image 13: Typical test pit



Image 14: Typical test pit

## 9.1 Artifacts



Image 15: Artifacts recovered during Stage 2 assessment

## 10.0 FIGURES

See the following pages for detailed assessment mapping and figures. Maps illustrating site locations do not form part of this public report; they may be found in the Supplementary Documentation.



Figure 1: Location of the Subject Property on a Topographic Map

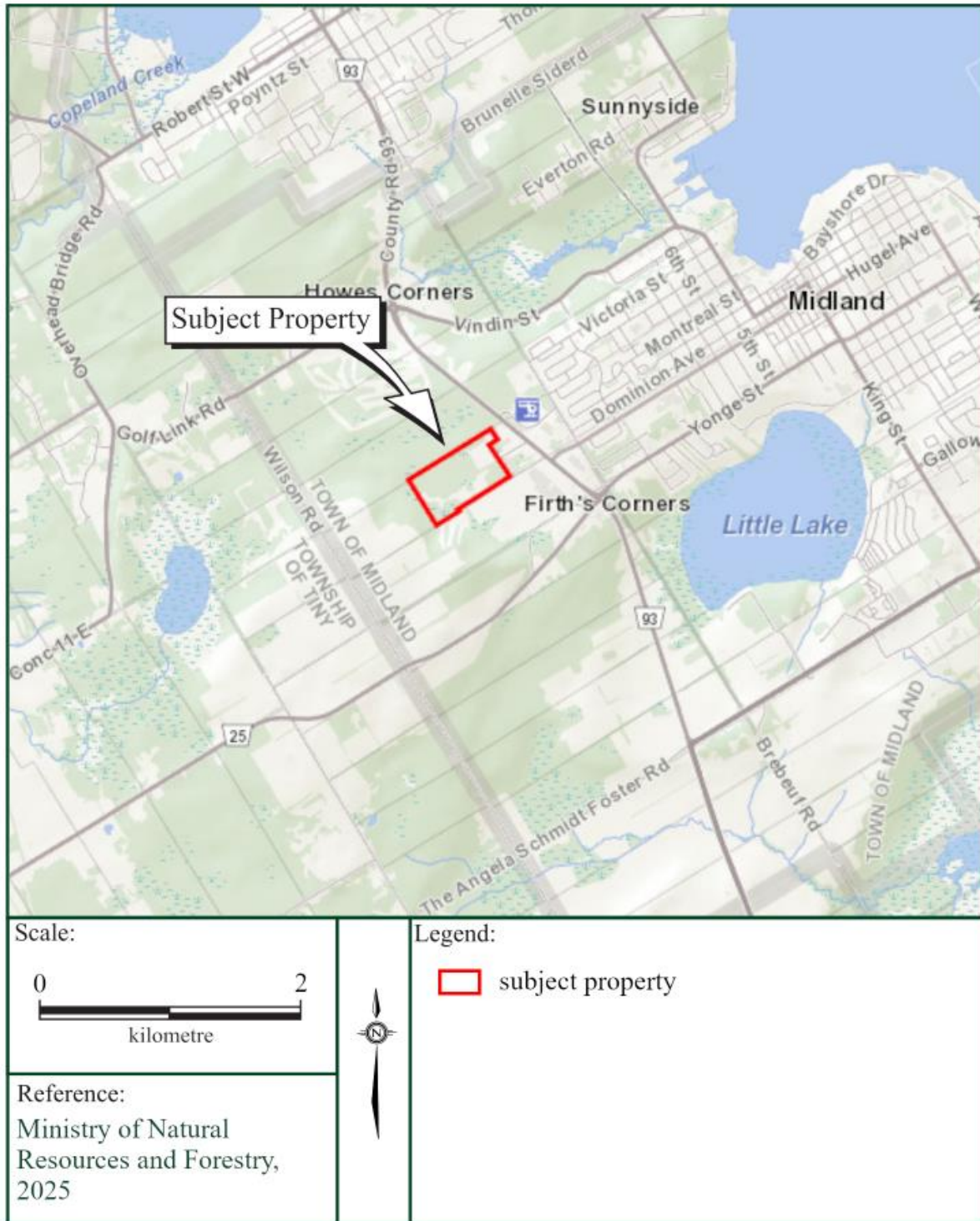


Figure 2: Concept Plan of Subject Property

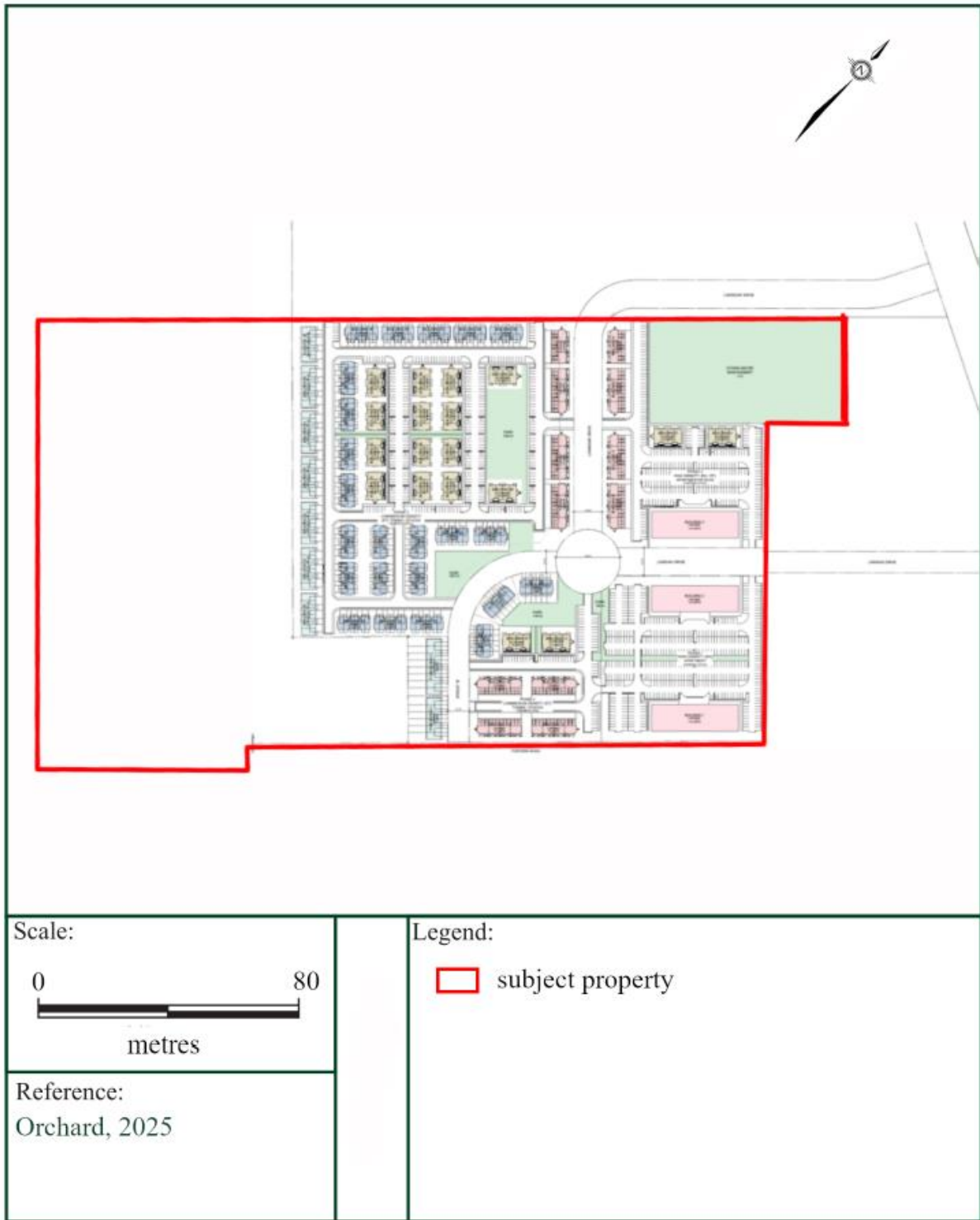


Figure 3: Location of the Subject Property on Hogg's 1871 Map of the County of Simcoe, Canada West

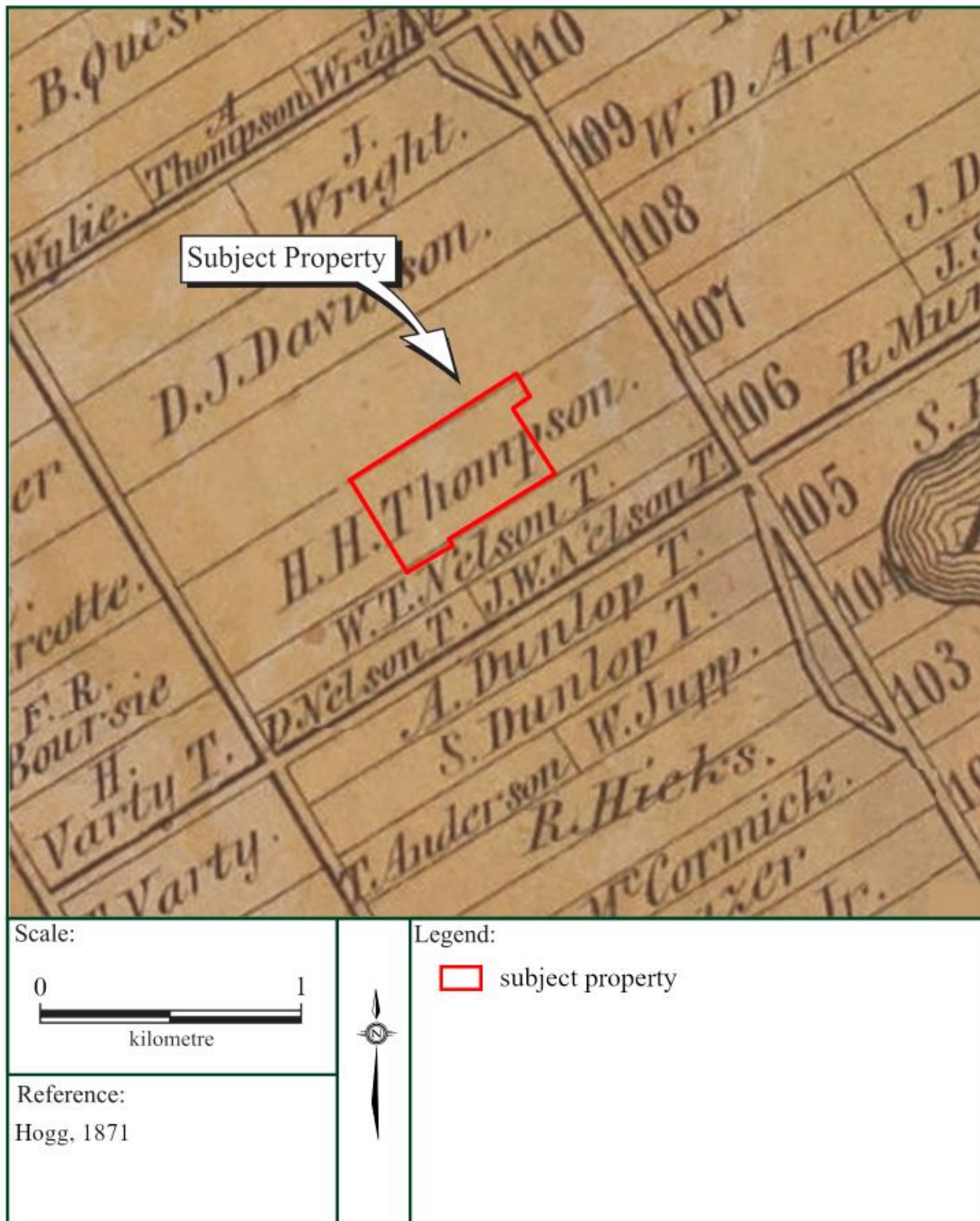


Figure 4: Location of the Subject Property on Belden & Co. 1881 Illustrated Historical Atlas Map of Tiny Township, County of Simcoe



Figure 5: Location of the Subject Property on a Map of Simcoe County Soils

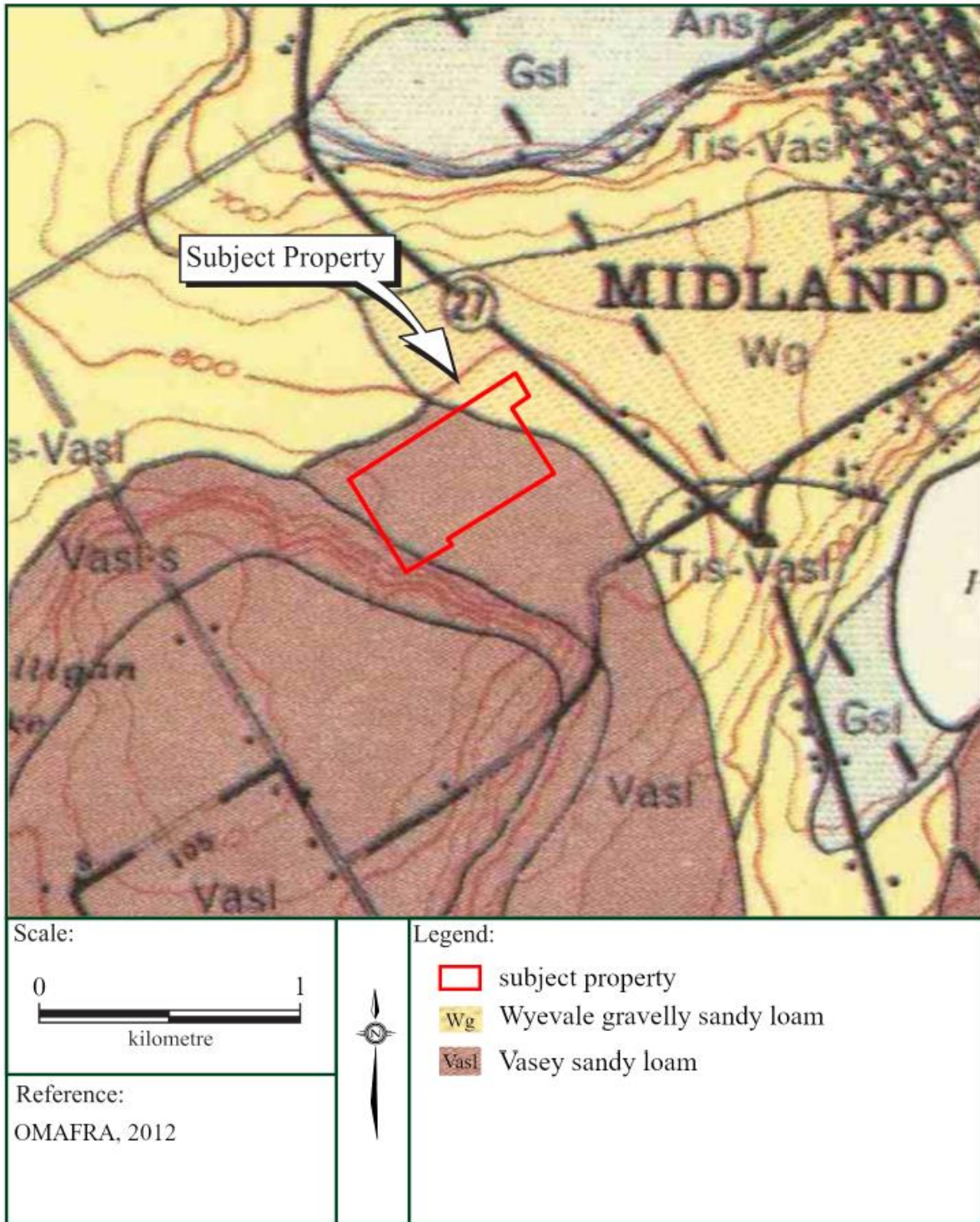


Figure 6: Current Land Use of the Subject Property



Figure 7: Previous Archaeological Assessments Conducted within 50 m of the Subject Property

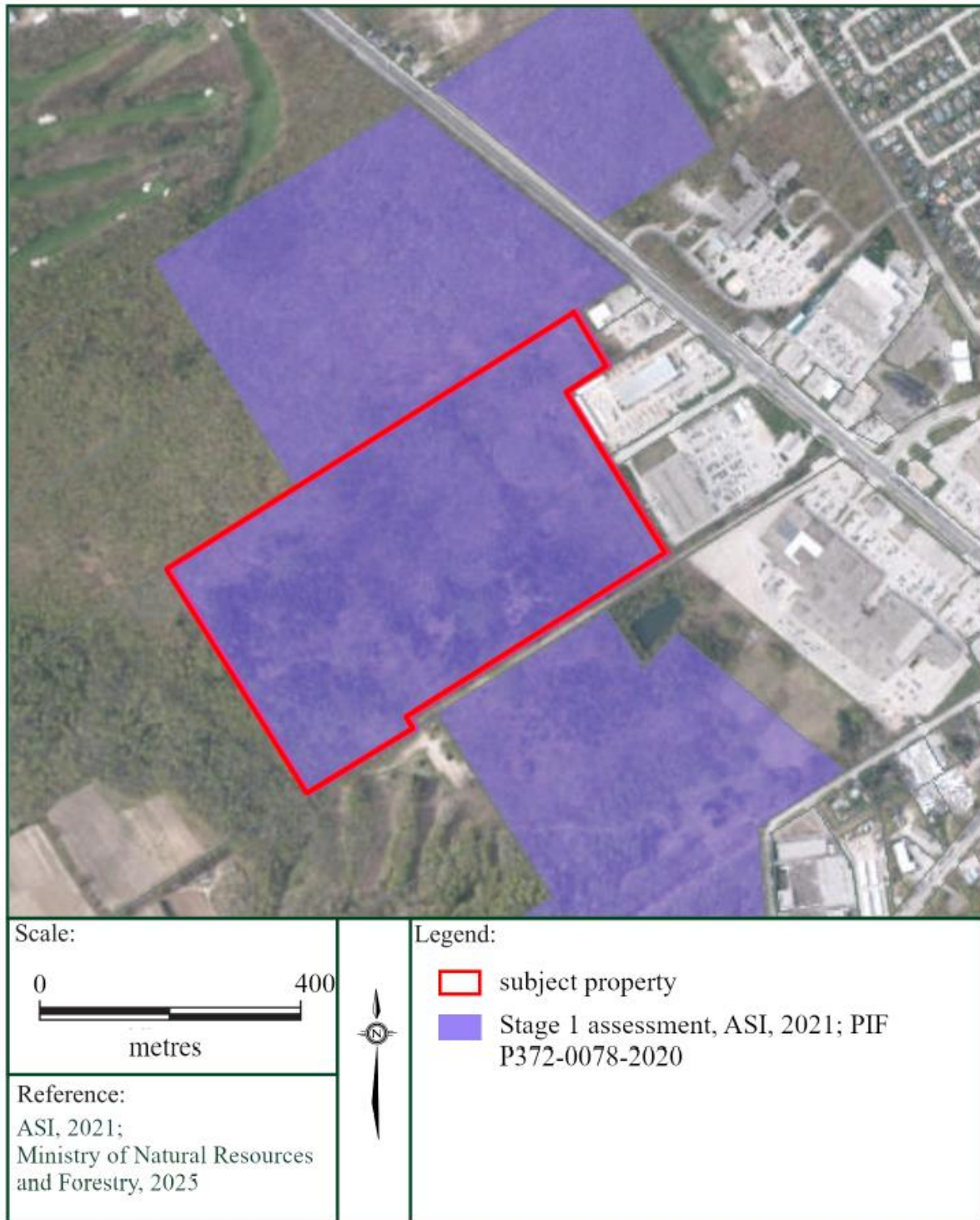


Figure 8: Location of the Subject Property on the County of Simcoe’s Archaeological Potential Map

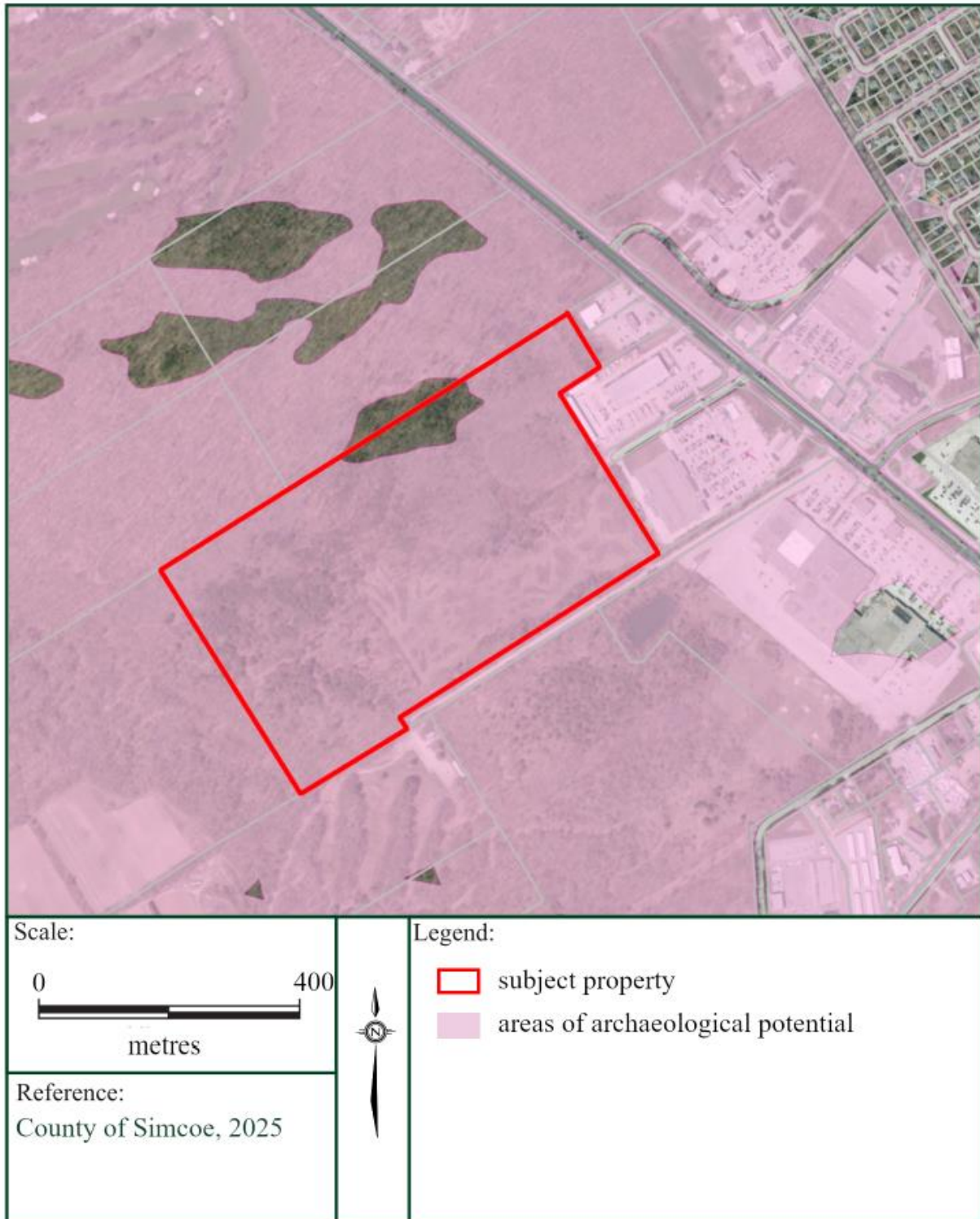
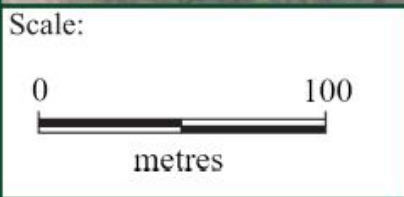


Figure 9: Aerial Imagery Showing the Results of the Stage 1 & 2 Archaeological Assessment of the Subject Property



Figure 10: Concept Plan Showing the Results of the Stage 1 & 2 Archaeological Assessment of the Subject Property





Reference:  
 Orchard, 2025;  
 Ministry of Natural Resources  
 and Forestry, 2025

Legend:

- subject property
- photograph location and direction

Areas of Archaeological Potential:

- test pit surveyed at 5 m intervals

Areas of Low to No Archaeological Potential:

- previously disturbed